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Kerrie Koopman CPPB, CPPO, CPP,
Purchasing Manager
**Kim Miskell, CSBO, Assistant Purchasing
Manager**
Bill Meekins CPPB, CPPO, CSBO, CPCP,
Purchasing Agent
Shane Ryberg, Purchasing Agent

ADDENDUM

January 29, 2021

ADDENDUM # 2

Bid 21C4, Gov. Thomas Johnson High School Roof Replacement Project

DUE DATE & TIME: 2:00 P.M., local time, on February 11, 2021 via Skype Business: (240) 236-6172 (FCPS)

Conference ID: 7907906 Meeting URL: <https://meet.fcps.org/kimberly.miskell/D21WC0P9?sl=1>

This addendum is being issued to provide additions, corrections, clarifications and answers to certain questions raised referencing the original bid packages and any resultant contracts for the above bid.

1. This Addendum includes the following attachment(s):
 - a. Bushey Feight Morin Architects, Inc. - Addendum No. 2 (3 pages)
 - b. Revised Drawings (4 pages)
 - c. Pre-Bid Meeting Minutes (2 pages)
 - d. Pre-Bid Meeting Attendance Roster (1 page)

Thank you for your interest in bidding with Frederick County Public Schools and we apologize for any inconvenience this may have caused.

Sincerely,

Kim Miskell

Kim Miskell, CSBO,
Assistant Purchasing Manager

km/ab

pc: Brian Staiger, Senior Project Manager, Capital Program Department
BFM Architects - Michael Gehr

BUSHEY FEIGHT MORIN ARCHITECTS INC.
473 North Potomac Street
Hagerstown, Maryland 21740

FREDERICK COUNTY PUBLIC SCHOOLS
GOV. THOMAS JOHNSON HIGH SCHOOL
AREA 'I' - ROOF REPLACEMENT

FCPS BID NO. 21C4 – Section I

PSC No. 10.057.21SR
BFM Project No. 20046

ADDENDUM NO. 2
January 28, 2021

TO: All prime contractors and all others whom drawings and specifications have been issued. Acknowledge receipt of this Addendum by inserting its number and date of receipt on the Proposal Form. Failure to do so may subject bidder to disqualification. This Addendum forms a part of the Contract Documents.

GENERAL

ITEM NO. 2.01 There is no unit costs for steel decking for the project. Provide material as needed per specification for patching small holes or removed penetrations.

SPECIFICATIONS

ITEM NO. 2.02 SECTION 01 01 00 – SUMMARY OF WORK; REVISE as follows:

A. Article 1.3.C.7.a.1).; Revise to Read as follows:

- “a. If the existing vapor barrier is intact - Mechanically fasten existing vapor barrier membrane and a new base sheet to meet FM 1-90 wind uplift criteria.
- b. If the existing vapor barrier is removed provide a layer of red rosin paper over tectum deck and mechanically fasten a new base layer to meet FM 1-90 wind uplift criteria.”

ITEM NO. 2.03 SECTION 01 50 00 – CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS; Article 114.A.; REVISE Paragraph as follows: “...below the work areas with tarps, plastic sheeting, or appropriate materials.”

ITEM NO. 2.04 SECTION 01 73 00 – SELECTIVE DEMOLITION; Article 1.6.C; REVISE Paragraph as follows: “Coordinate with FCPS Contractor to disconnect, remove,”

ITEM NO. 2.05 SECTION 01 74 00 – WARRANTIES AND BONDS; REVISE as follows:

- A. Article 1.06.B.1.b; DELETE this paragraph its entirety.
- B. Article 1.06.B.2: REVISE to read “Qualified Representative” in lieu of full-time inspector.

ITEM NO. 2.06 SECTION 07 52 00 – HOT-APPLIED BUILT-UP ROOFING; REVISE as follows:

- A. Article 2.5.B.1.a.: DELETE “melt” from paragraph.
- B. Article 2.7.B.: ADD the following paragraph: “B. Elastomeric Coating for Elastomeric Flashings: High solids, water-based, elastomeric coating of acrylic latex polymer, asbestos free. Equal to ‘ICE’ coating.
- C. Article 3.10.A.2.: REVISE to Read: “Apply Acrylic coating over exposed flashing membrane surfaces that have been soiled, stained, or discolored the membrane. Clean prior to coating application per manufacturer’s recommendations.”

**FCPS: Gov Thomas Johnson High School
Roof Replacement**

Addendum No. 2

January 28, 2021

Page 2

DRAWINGS

ITEM NO. 2.07 DRAWINGS CS.1, A1.1, A1.2, & A1.3; DELETE all drawings in their entirety. INSERT the REVISED drawings included in this addendum as attachment no.1 (4 pages (drawings)), Dated Jan 28, 2021. This includes drawings CS.1, A1.1, A1.2, & A1.3.

CONTRACTOR QUESTIONS

- ITEM NO. 2.08 Question: Section 01 01 00-3 Summary of Work 1.03C 7a1b - *If the existing roof is being removed down to the tectum deck, may the base sheet be mechanically attached to the Tectum in lieu of the hot asphalt and is this base sheet pad of the 4-ply Hot applied built-up roofing system or an additional ply?*
Response: *The base sheet to re-establish the vapor barrier shall not be included as a ply of the 4-ply roofing system.*
- ITEM NO. 2.09 Question: Section 01 01 00-4 Summary of Work 1.03.C.8.f.1 - *Please verify that the coverboard is six-sided asphalt coated wood fiberboard insulation*
Response: *Provide the Roofing System Manufacturer's recommendation for high density wood fiberboard material.*
- ITEM NO. 2.10 Question: Section 01 50 00-5 Construction Facilities and Temporary Controls 1.14 - *Please explain what is required for interior protection.*
Response: *Contractor needs to cover floor or room contents with plastic*
- ITEM NO. 2.11 Question: Section 01 73 20 Selective Demolition - *For any units that need to be raised, will FCPS be responsible for disconnecting and reconnecting the electrical, gas and freon lines?*
Response: *YES*
- ITEM NO. 2.12 Question: Section 01 74 00-2 Warranties and Bonds 1.06B.1.b - *Please verify that the new warranty must include inspection by the roofing manufacturer at 2, 5, 10, 15 and 20 years and include any preventive maintenance and housekeeping as necessary.*
Response: *This requirement will be deleted.*
- ITEM NO. 2.13 Question: Section 01 74 00-2 Warranties and Bonds 1.06B 2- *Please verify that the manufacturer shall provide a full-time inspector during actual performance of roof replacement.*
Response: *The Manufacturer shall provide a qualified representative to perform the required inspection(s).*
- ITEM NO. 2.14 Question: Section 05 31 00-1 Steel Deck 1.1.A - *Please verify that the repair and replacement and unit cost of the steel decking are not required for the Alternate bid.*
Response: *YES*
- ITEM NO. 2.15 Question: Section 07 52 00-7 Hot Applied Built-Up Roofing 2.5.B.1.a - *Hot Melt" asphalt is listed. Is regular Type III or Type IV hot asphalt acceptable?*
Response: *YES*
- ITEM NO. 2.16 Section 07 52 00-12 Hot Applied Built-Up Roofing 3.10. - *Please verify that the Elastomeric flashing is to receive fibrated aluminum coating?*
Response: *The Coating shall be an acrylic coating for elastomeric membrane.*

FCPS: Gov Thomas Johnson High School
Roof Replacement

Addendum No. 2

January 28, 2021

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END OF ADDENDUM

ATTACHMENTS: N/A

FCPS: THOMAS JOHNSON HIGH SCHOOL PARTIAL ROOF REPLACEMENT - AREA 'I'

1501 N. MARKET STREET
FREDERICK, MARYLAND 21701

JANUARY 14, 2021
FREDERICK COUNTY PUBLIC SCHOOLS
191 S. EAST STREET
FREDERICK, MD 21701

FCPS BID NO. 21C4
PSC# 10.057.21SR

ARCHITECTS
BFM
BUSHEY FEIGHT MORIN ARCHITECTS
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DRAWING INDEX

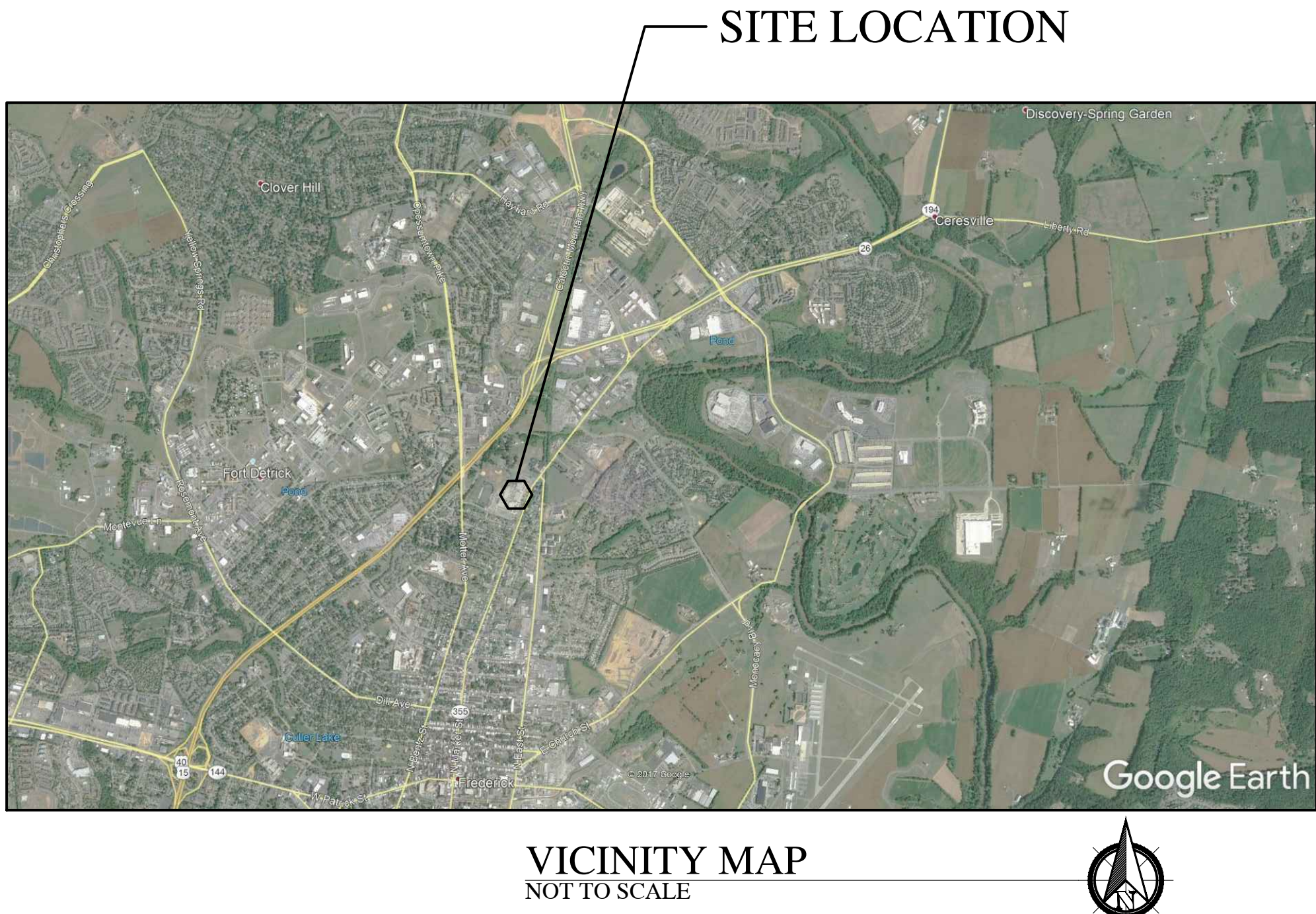
CS-1 COVER SHEET

ARCHITECTURAL:

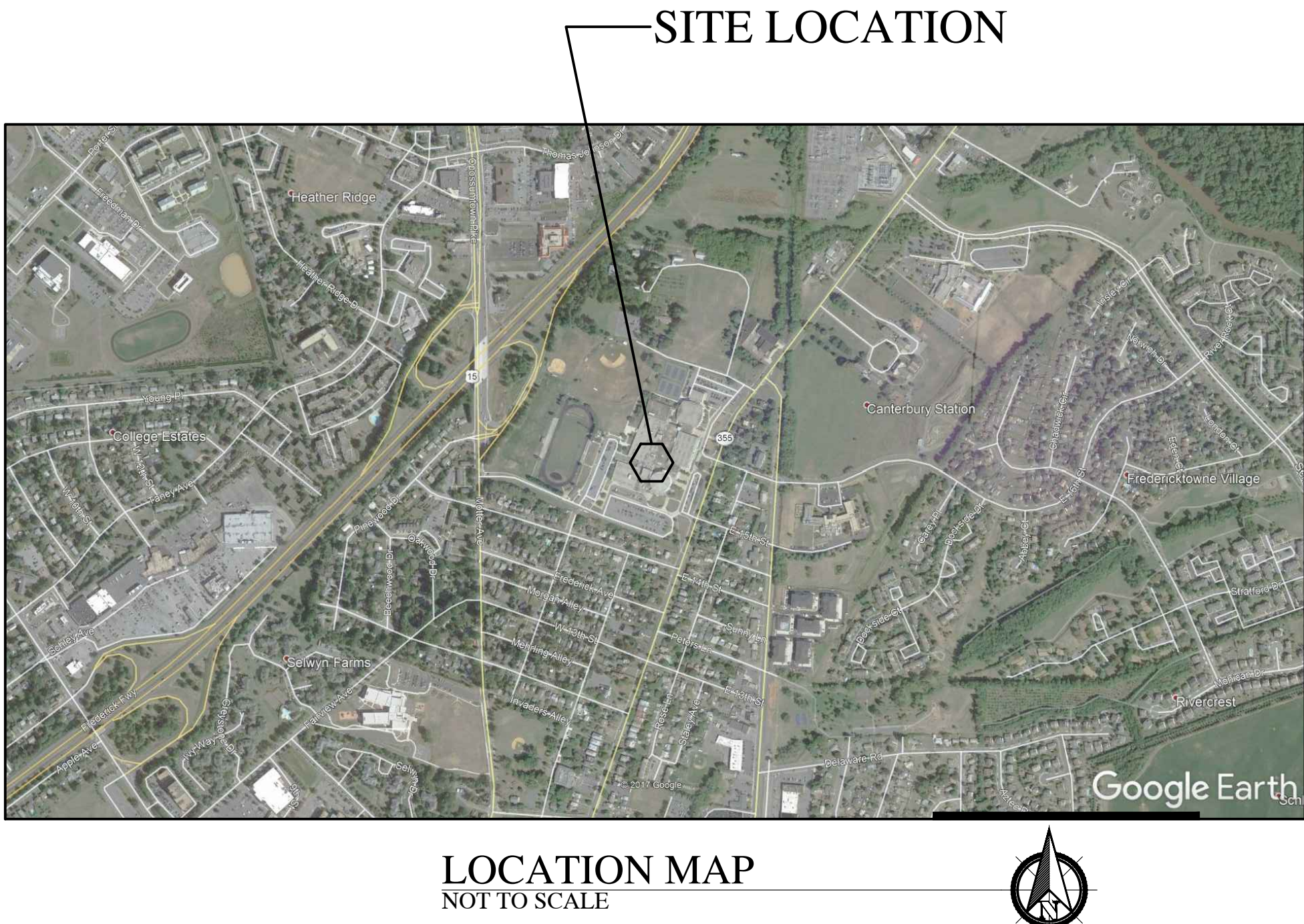
A1.1 ROOF PLAN / NOTES
A1.2 ROOF DETAILS
A1.3 ROOF PLAN AREA A & B

CODE REQUIREMENTS

NFPA 101 2018 w/ AMENDMENTS
IBC 2018
IECC 2018
NEC 2018
IPC 2018
MAC 2012 (COMAR)
NSPC 2018
DGS PROCEDURE MANUAL 2019
MD ACCESSIBILITY ACT 2010
(ADA STANDARDS)



PROFESSIONAL CERTIFICATION	
These contract documents for the FCPS: THOMAS JOHNSON HIGH SCHOOL were prepared under my supervision and to the best of my knowledge, information and belief, they comply with the relevant building codes of the State of Maryland.	
/s/	(date)
Maryland Registration No. 10011	Expiration Date 7.7.22



Appendix #2
Attachment #1 - 4 Pages
January 28, 2021

BFM BUSHEY FEIGHT MORIN ARCHITECTS
473 NORTH POTOMAC STREET, HAGERSTOWN, MD 21740
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JANUARY 14, 2021

BFM # 20046

FCPS: THOMAS JOHNSON HIGH SCHOOL
PARTIAL ROOF REPLACEMENT : AREA 'I'

FREDERICK, MARYLAND

COVER SHEET

CS.1

SHEET | OF |
DATE : 01/14/21

NEW BUILT-UP ROOFING

1. CONTRACTOR SHALL REMOVE ALL CONSTRUCTION DEBRIS AND CLEAN ASPHALT RELATED PRODUCTS (NEW OR EXISTING) FROM ALL ADJ. SURFACES PRIOR TO FINAL INSPECTION.
2. PROVIDE ADEQUATE PROTECTION OF ALL ROOF DECKS DURING EXPOSURE.
3. REPAIR ALL DENTED OR DAMAGED EXHAUST FANS/ EQUIPMENT & PAINT (DO NOT PAINT OVER EQUIPMENT LABELS).
4. TRIM ANY TREES THAT OVERHANG ROOF BACK BEYOND EDGE OF ROOF LINE.
5. PROVIDE STAINLESS STEEL FITTINGS AT ALL CONDENSERS.
6. ALL WORK TO BE IN ACCORDANCE WITH IRC 507.10 & FM 1-90, AND CLASS A PER ASTM E2008
7. THE ENTIRE NEW ROOFING SYSTEM (INCLUDING FLASHINGS, TRIM, & ROOF WORK RELATED TO MECHANICAL, PLUMBING, AND ELECTRICAL) SHALL BE COVERED BY THE APPLICABLE SPECIFIED WARRANTY.
8. ROOF SLOPES- PROVIDE FINISHED SLOPE AS NOTED ON THE ROOF PLAN.
9. SLOPING DECK BUILT-UP ROOFING SYSTEM - NOT USED
10. LEVEL DECK BUILT-UP ROOFING SYSTEM - REFER TO DETAIL 1/A1.2. PROVIDE TAPERED INSULATION OVER BASE INSULATION FOR A MINIMUM 1/4 IN. PER FT. SLOPE.
11. CRICKETS, BACK SLOPES, & SADDLES - PROVIDE TAPERED INSULATION CRICKETS WITH A MINIMUM BACK SLOPE TWICE MAIN SLOPE. CONFIGURE AS SHOWN ON THE ROOF PLAN TO DIRECT WATER TO THE ROOF DRAINS OR SCUPPERS. WHERE POSSIBLE, CRICKETS HAVE BEEN SIZED IN MODULES OF FOUR (4) FOOT WIDTHS. PROVIDE TAPERED EDGE STRIPS OF THE SAME SLOPE AS THE TAPERED INSULATION AS REQUIRED TO MAKE A SMOOTH TRANSITION FROM THE CRICKET TO THE ROOF SURFACE (NO VERTICAL JOGS).
12. BASE FLASHING FOR THIS PROJECT WILL BE SINGLE PLY MEMBRANE.
 - VERIFY THAT THE SINGLE-PLY MEMBRANE IS SUITED FOR INSTALLATION IN CONTACT WITH ASPHALT BASED PRODUCTS.
 - APPLY THE SINGLE-PLY MEMBRANE BASE FLASHING TO THE PARAPET SURFACE W/ THE WHITE SIDE OUT.
 - STRIP OVER ALL SIZES
 - MEMBRANE FLASHING ADHERED DIRECTLY TO MASONRY WALLS - VERIFY THIS IS ACCEPTABLE TO THE ROOFING MANUFACTURER FOR THE WARRANTY SPECIFIED. (IF NOT, NOTIFY THE ARCHITECT OF THE MANUFACTURER'S REQUIREMENTS). CLEAN & SMOOTH THE MASONRY (ESPECIALLY AT THE JOINTS). SECURE & ADHERE THE MEMBRANE PER THE MANUFACTURER'S REQUIREMENTS.
 - EXTEND THE SINGLE-PLY MEMBRANE BASE FLASHING ABOVE THE NEW GANT AS FAR AS ALLOWED BY THE ROOFING MANUFACTURER. IF THE HEIGHT OF THE BASE FLASHING MUST EXCEED THE FLASHING MANUFACTURER'S RECOMMENDED LIMITS, INTERRUPT THE FLASHING MEMBRANE & PROVIDE A TERMINATION BAR & SURFACE MOUNTED METAL APRON/COUNTER FLASHING. PROVIDE ADDITIONAL MEMBRANE ABOVE LAPPING OVER THE COUNTER FLASHING, AND EXTENDING OVER THE PARAPET AS DESCRIBED BELOW. SECURE PER THE MANUFACTURER'S RECOMMENDATIONS.
13. NEW ROOF EDGE -
 - SEE DETAILS FOR GENERAL CONFIGURATION.
 - ROOF EDGE IS TO BE HELD AT CONSTANT HEIGHT/ELEVATION AT EACH ROOF DETERMINED BY MAXIMUM THICKNESS OF TAPERED INSULATION. SLIGHT VARIATIONS PERMITTED.
 - PROVIDE NEW TAPERED INSULATION BACK SLOPE OR TAPERED EDGE STRIPS AS REQUIRED TO BRING THE ROOF SURFACE FLUSH W/ THE TOP OF W.D. BLOCKING.
 - EXTEND THE NEW MEMBRANE BASE FLASHING OVER BLOCKING & DOWN FACE OF WALL. SEAL TO VERTICAL SURFACE.
 - PROVIDE GUTTERS, DOWNSPOUTS, AND SCUPPERS WHERE INDICATED ON THE DRAWINGS.
14. PARAPETS & CORNINGS (TYPICAL)
 - MAKE ADJUSTMENTS TO THE FOLLOWING BASED ON THE HEIGHT OF THE PARAPET AND THE ROOFING MFRS. RECOMMENDATIONS.
 - SEE DETAILS FOR FLASHING @ THE BASE OF THE WALL.
 - EXTEND ROOFING PILES ABOVE THE TOP OF THE GANT A MINIMUM OF 4" OR AS REQUIRED BY THE WARRANTY.
 - PROVIDE SINGLE-PLY MEMBRANE BASE FLASHING EXTENDING UP THE BACK SIDE, OVER THE TOP, & DOWN THE FACE OF THE PARAPET PER DETAILS. SECURE PER THE FLASHING MANUFACTURER'S RECOMMENDATIONS. SEAL THE FLASHING TO THE EXTERIOR FACE OF THE WALL BELOW THE BLOCKING & COVER WITH THE CORNING.
 - PROVIDE METAL CORNING INCLUDING CONTINUOUS CLEATS (BOTH SIDES) & P.T. BLOCKING PER DETAILS. PROVIDE BUTT JOINTS IN CORNING W/ BLIND SPLICE PLATES. PROVIDE FOR EXPANSION & CONTRACTION PER THE SHACMA MANUAL (LATEST EDITION). PROVIDE FASTENER W/ NEOPRENE® WASHER FOR WATER TIGHT SEAL.
15. DECK TO WALL EXPANSION JOINTS - LOCATE WHERE INDICATED ON THE ROOF PLAN. VERIFY TOP OF SINGLE-PLY MEMBRANE BASE FLASHING IS 12 MIN. ABOVE THE ROOF SURFACE.
16. ROOFING @ VERTICAL NON-LOAD BEARING WALL - PROVIDE EXPANSION JOINT STYLE DETAIL PER ROOF NOTE # 34. CONDITIONS ABOVE THE GANT VARY. VERIFY & COORDINATE.
17. ROOFING @ VERTICAL LOAD BEARING WALL (WHERE ROOF DECK IS SUPPORTED BY THE WALL) - PROVIDE ROOFING PER DETAILS. CONDITIONS ABOVE THE GANT VARY. VERIFY & COORDINATE. VERIFY TOP OF SINGLE-PLY MEMBRANE BASE FLASHING IS 10" MIN. ABOVE THE NEW ROOF SURFACE.
18. EXPANSION JOINT - DECK TO WALL STYLE AT MASONRY WALL -
 - SEE ROOF PLAN FOR LOCATION.
 - NOTE THE ROOF SURFACE LEVELS MAY VARY SIGNIFICANTLY IN HEIGHT.
 - PROVIDE A DECK TO WALL EXP. JT. (incl. METAL COVER) PER DETAILS.
19. EXPANSION JOINT - DECK TO DECK - RAISED WOOD CURB -
 - SEE ROOF PLAN FOR LOCATION.
 - PROVIDE ROOFING INCLUDING AN EXPANSION JOINT COVER & P.T. WOOD CURBS PER DETAILS. VERIFY TOP OF BASE FLASHING IS 10" MIN. ABOVE THE NEW ROOF SURFACE.
 - PROVIDE THIS EXPANSION JOINT FOR THE ROOFING EVEN IF NOT REQUIRED FOR BUILDING EXPANSION CONTRACTION.
20. REPLACEMENT ROOF DRAIN AND SUMP - REDUCE THE INSULATION THICKNESS AS REQUIRED TO PROVIDE A 4" X 4" SUMP COMPOSED OF TAPERED INSULATION & TAPERED EDGE STRIPS. COORDINATE W/ PLUMBING.
21. HEIGHT ABOVE ROOF SURFACE FOR TERMINATION OF BASE FLASHING AT WALLS & AT CURBS MOUNTED AND OTHER ROOFTOP EQUIPMENT SHALL BE TO MINIMUM & AS REQUIRED FOR THE WARRANTY SPECIFIED FROM THE TOP OF THE NEW ROOF SURFACE TO THE TOP OF THE FLASHING. SET CURB HEIGHTS ACCORDINGLY.
22. CURB MOUNTED ROOF TOP EQUIPMENT - SEE NOTE # 22 ABOVE. COORDINATE WITH MECHANICAL. MAKE ALL LINE, PIPE, DUCT, & CONDUIT PENETRATIONS INSIDE THE CURB (INCLUDING CONDUITS FOR CONVENIENCE OUTLETS). IF THAT IS NOT POSSIBLE, PROVIDE DUCT CURBS, GOOSENECKS, AND PENETRATION POCKETS AS REQUIRED. (SEE OTHER ROOF NOTES). ON THE UPHILL SIDE(S) OF THE CURB, PROVIDE CRICKETS WITH A MINIMUM BACK SLOPE TWICE THE MAIN SLOPE (EVEN IF NOT SHOWN). AT CONCENTRATE LINES DRAINING ONTO THE ROOF SURFACE, PROVIDE CONC. SPLASH BLOCKS. COORDINATE W/ STRUCTURAL & MECHANICAL. ALL CURBS TO BE 12" ABOVE ROOF SURFACE.
23. GOLF ROUND VENTS OR PIPES THROUGH THE ROOF - VERIFY TOP IS 12" MINIMUM ABOVE THE NEW ROOF SURFACE. EXTEND AS REQUIRED. SEAL LIQUID MEMBRANE FLASHING MIN 4" OR TOP OF PIPE. PAINT IS FLASHING STOP BELOW.
24. GOOSENECKS - MAKE ALL LINE, WIRE, CONDUIT, ETC., PENETRATIONS OUTSIDE OF CURBS THROUGH GOOSENECKS IF AT ALL POSSIBLE. MOUNT GOOSENECKS ON CURBS. COORDINATE W/ MECHANICAL & ELECTRICAL.
25. PIPE PORTALS & CURBS - FOR PIPE CONNECTIONS PROVIDE PIPE PORTALS (INCLUDING COVERS & CAPS) MOUNTED ON CURBS. COORDINATE WITH MECHANICAL AND PLUMBING.
26. PENETRATION POCKETS - ONLY WHERE GOOSENECKS OR PIPE PORTALS ARE IMPOSSIBLE, PROVIDE SEALER POCKETS W/ HOODS PER DETAILS. REVIEW THESE SITUATIONS WITH THE OWNER AND ARCHITECT.
27. ROOF LADDER - NOT USED
28. WALK PADS - LOCATE PER ROOF PLAN. COORDINATE PADS WITH ROOF SLOPES AND CRICKETS. LOCATE PADS TO ALLOW FOR FLOW OF WATER DOWN SLOPE ESPECIALLY AT VALLEYS. INTERRUPT PADS ON AN ANGLE AT VALLEYS. NOTIFY ARCHITECT IF WALKWAY LAYOUT SHOWN IMPEDES WATER FLOW & MAKE ADJUSTMENTS AS REQUIRED. PROVIDE EXTRA PADS AT BOTH SIDES OF PARAPETS, @ ROOF LADDERS, & ROOF HATCHES AS SHOWN.
29. TERMINATION ALONG A VERTICAL EDGE - PROVIDE PER MANUFACTURER'S DETAIL. PROVIDE MTL. RECEIVER/COUNTERFLASHING (incl. BACKER ROD & SEALANT) TO COVER THE TERMINATION. INSULATION & COUNTERFLASHING SHALL NOT EXCEED HEIGHT OF EXISTING THRU WALL FLASHING. VERIFY & COORDINATE IN FIELD. MODIFY TAPERED INSULATION, CRICKET OR SLOPE ACCORDINGLY. NOTIFY OWNER/ARCHITECT OF POTENTIAL CONFLICTS.
30. ROOF TOP EQUIPMENT SUPPORTED BY STEEL FRAMES ABOVE THE ROOF -
 - SEE SCOPE OF ROOF WORK RELATED TO ROOF TOP UNITS ON FRAMES NOTES FOR THE GENERAL ROOFING REQUIRED. SEE OTHER ROOF NOTES FOR REQUIRED ROOFING @ SPECIFIC CONDITIONS.
 - PAIN THE FRAMES.
31. PAD MOUNTED ROOF TOP EQUIPMENT - PROVIDE P.T. BLOCKING AROUND THE PERIMETER OF THE EQUIPMENT PAD & FULL THICKNESS OF THE BASE INSULATION, TAPERED INSULATION (IF ANY), & PROTECTION BOARD. PROVIDE ADDITIONAL CAP SHEET UNDER THE ENTIRE EQUIPMENT PAD. AS REQUIRED, PROVIDE PENETRATION POCKET(S). VERIFY PADS SITTING ON TOP OF THE ROOF SURFACE WILL BE HELD IN PLACE BY THE WEIGHT OF THE EQUIPMENT SUPPORTED. DO NOT FLUTTER THE ROOFING TO ATTACH THE PAD. PROVIDE GOOSENECKS, PENETRATION POCKETS AND DUCT CURBS AS REQUIRED.
32. SKYLIGHT - SEE DTL. 2/A1.3

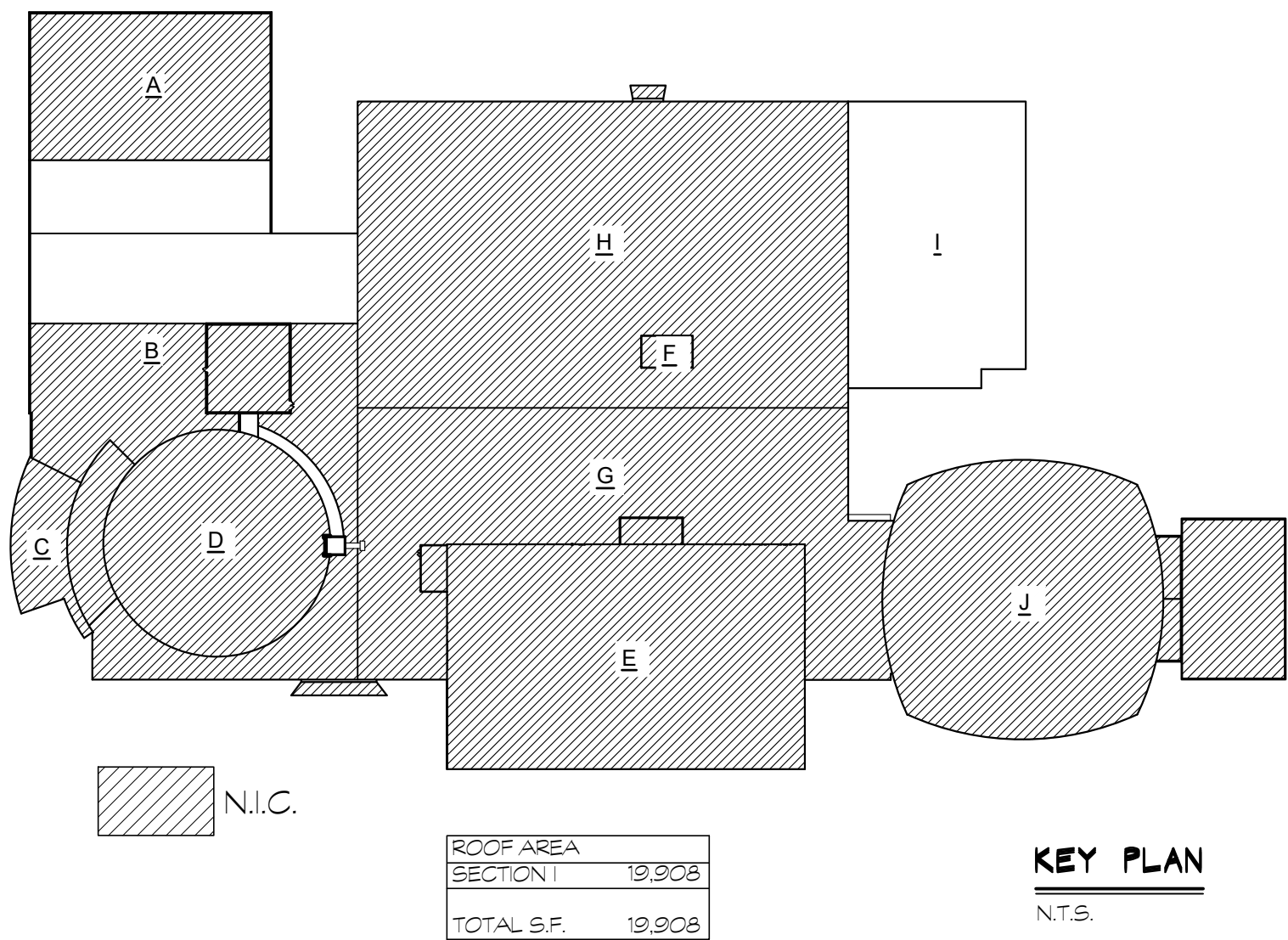
NOTES APPLY TO ALL ROOF PLANS & TO OTHER DRAWINGS AS NOTED.

ROOFING DEMO NOTES -

- A. REMOVE (B) ROOFING MEMBRANE & INSULATION DOWN TO (B) DECK.
- B. INSPECT (B) DECK - REPLACE ANY & ALL DAMAGED SECTIONS; PATCH & REPAIR AT UNUSED OPENINGS & REPAIR VAPOR BARRIER.
- C. PROTECT ALL (B) EQUIPMENT & FINISHES TO REMAIN.
- D. PROTECT ALL BUILDING EXITS & PATHWAYS BELOW FROM CONSTRUCTION DEBRIS DURING WORK.
- E. REMOVE ALL WASTE DAILY FROM SITE OR PLACE INTO OWNER APPROVED CONTAINERS.

ROOFING NOTES -

- A. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD & NOTE ANY INACCURACIES ON AS-BUILTS.
- B. ROOF ELEVATIONS - ALL ELEVATIONS ABOVE BENCHMARK ARE APPROXIMATE. VERIFY ACTUAL CONDITIONS IN THE FIELD.
- C. PROJECT SHALL BE PHASED DUE TO BUILDING BEING OCCUPIED. CONTRACTOR SHALL COORDINATE W/ FCPBS & SCHOOL ADMIN. TO SCHEDULE. MAY REQUIRE AFTER HOURS WORK.
- D. PROTECT EXISTING INTERIOR FINISHES PARTICULARLY WHERE EXISTING CEILINGS ARE EXPOSED ROOF DECK. PROTECT AREAS BELOW PER SPEC SECTION.
- E. REMOVE ANY HAZARDOUS MATERIALS DUE TO ROOF REPLACEMENT WORK INCLUDING FLASHING, PIPE INSULATION, CEILING TILES ETC. PROVIDE INDUSTRIAL HYGIENIST DURING REMOVAL TO MONITOR & TEST FOR CLEARANCE.
- F. ALL WORK RELATED TO THE ROOFING SYSTEMS SHALL BE PERFORMED BY THE APPLICATOR OR BY PARTIES ACCEPTABLE TO THE ROOFING MANUFACTURERS AND QUALIFIED TO INSTALL ROOFING WITH THE SPECIFIED WARRANTIES.
- G. COORDINATE ROOFING WITH OTHER WORK, ESPECIALLY MECHANICAL, PLUMBING, AND ELECTRICAL.
- H. LOCATIONS OF ROOF TOP EQUIPMENT SHOWN ARE APPROXIMATE. COORDINATE WITH ACTUAL FIELD CONDITIONS. VERIFY IN THE FIELD. PROVIDE ROOFING AS REQUIRED TO ACCOMMODATE THE EQUIPMENT INSTALLED.
- I. BLOCKINGS - PROVIDE ALL NEW PRESSURE TREATED - 2" X 6" MIN. BLOCKING, UNLESS NOTED OTHERWISE.
- J. REMOVE EXISTING ROOF AND ALL ASSOCIATED FLASHING, BLOCKING, ETC., AND DISPOSE OF IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS.



NOTE: REMOVE ANY LOOSE PAVERS

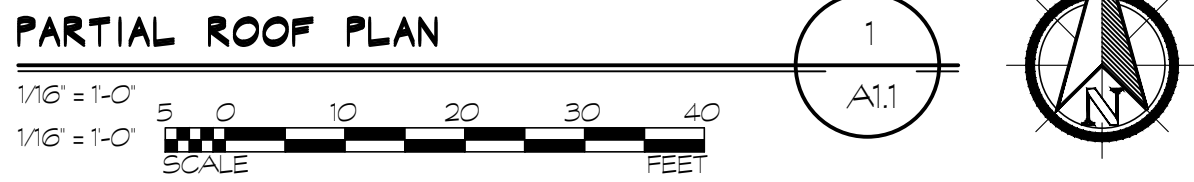
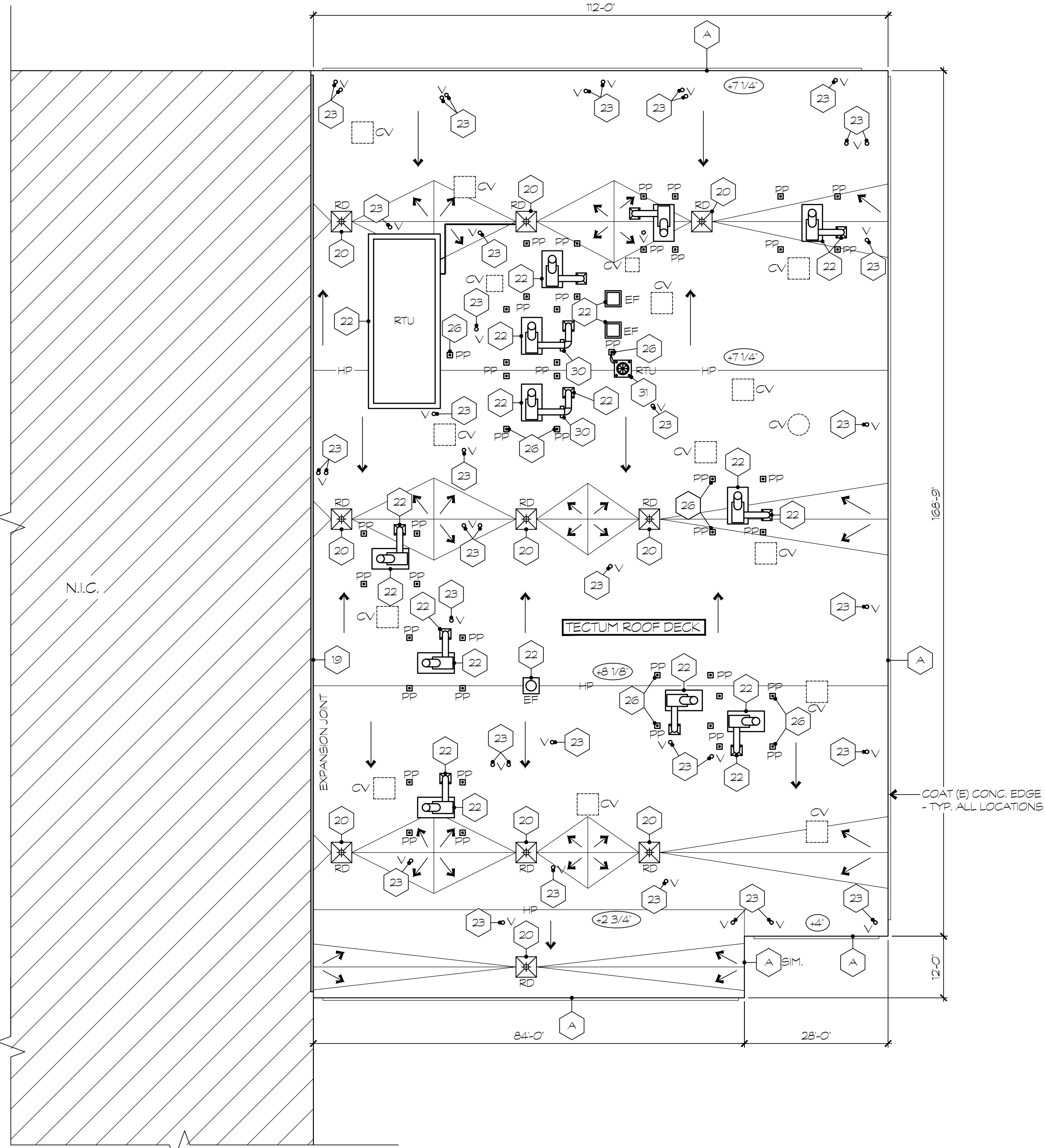
NOTE: ALL ROOF DRAINS TO BE REPLACED

NOTE: ALL AREAS TO BE REPLACED W/ BUR SYSTEM

NOTE: INSULATION TO HAVE A MIN. AVERAGE R VALUE OF 38 FOR EACH ROOF SECTION

LEGEND

- TAPERED INSULATION OR SLOPING STRUCTURE SLOPE 1/4" / FT. - TYP.
- RD: ROOF DRAIN, W/ 4" X 4" MIN. SUMP - SEE DETAIL 4/A1.2. REPLACE ALL DRAINS.
- OV, PV: VENT OR PIPE VENT THRU ROOF - SEE DTL. 6/A1.2
- #: APPROXIMATE HEIGHT OF TAPERED INSULATION ABOVE BASE INSULATION AT A GIVEN POINT
- H.P.: HIGH POINT OF TAPERED INSULATION
- EF: EXHAUST FAN - SEE DETAIL 5/A1.2
- PP: PITCH POCKET - SEE DETAIL 7/A1.2
- CV: CAPPED VENT - REMOVE IF POSSIBLE
- Hatched area: HATCHED AREA OF NEW ROOFING PER EXPANSION JOINT INSTALL



Addendum #2
Attachment #1 - 4 Pages
January 28, 2021

BFM BUSHEY FEIGHT MORIN ARCHITECTS
473 NORTH POTOMAC STREET, HAGERSTOWN, MD 21740
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BFM® 20046 THOMAS JOHNSON HIGH SCHOOL
PARTIAL ROOF REPLACEMENT - AREA 'I'

ROOF
PLAN / NOTES

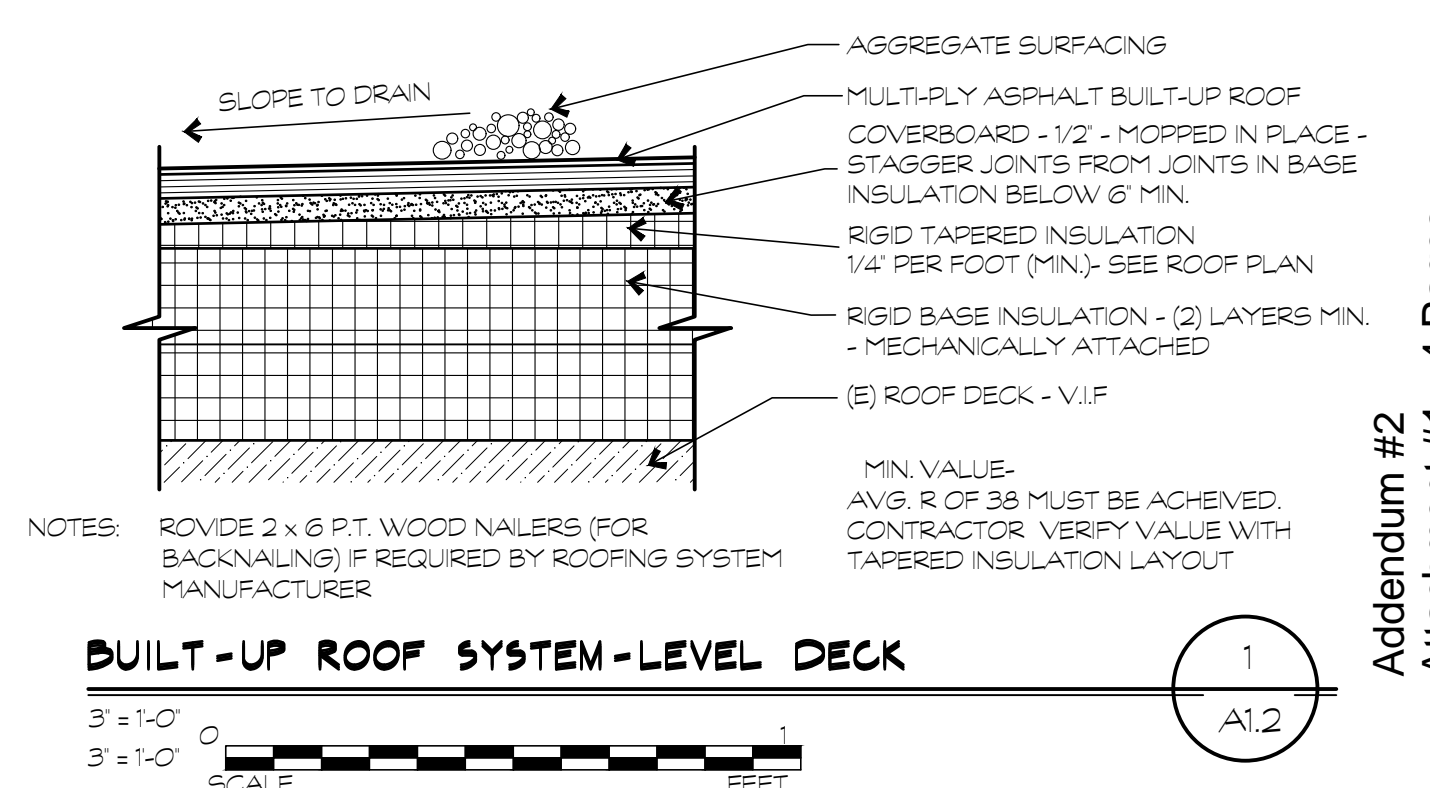
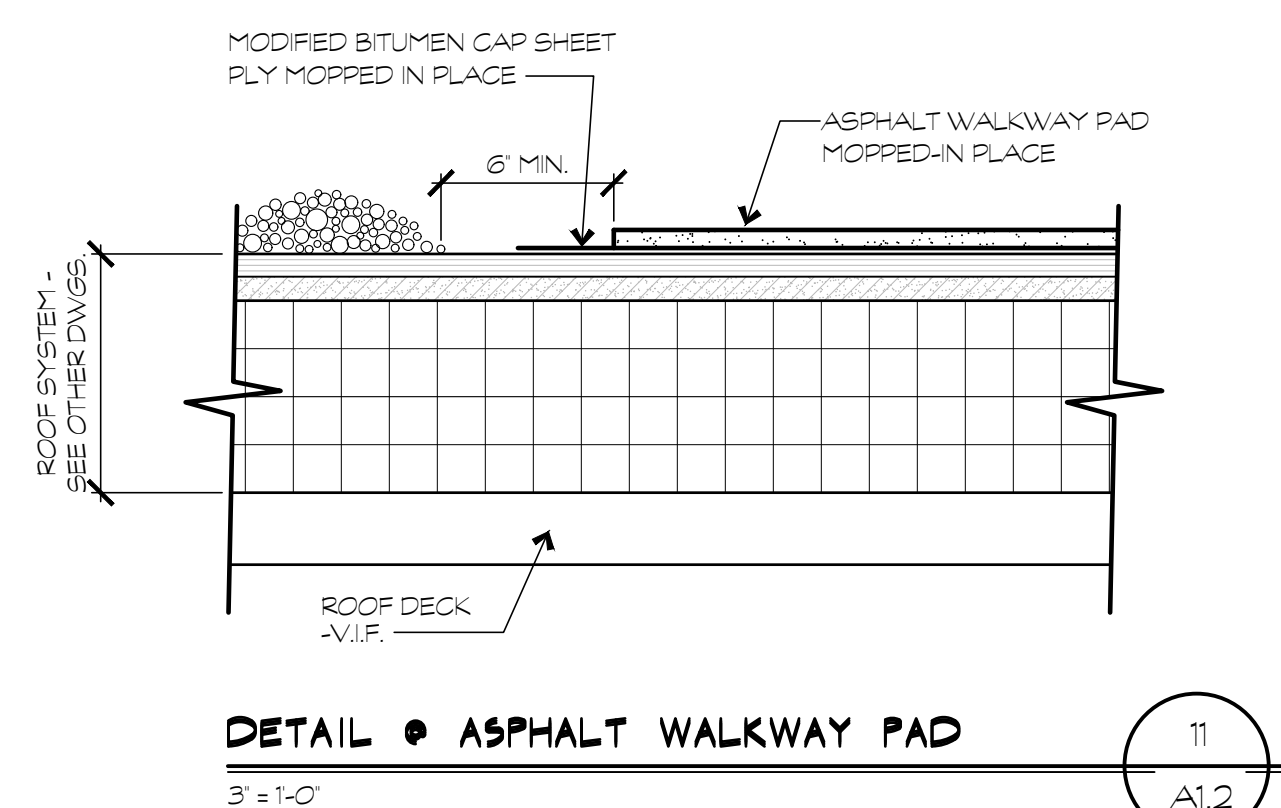
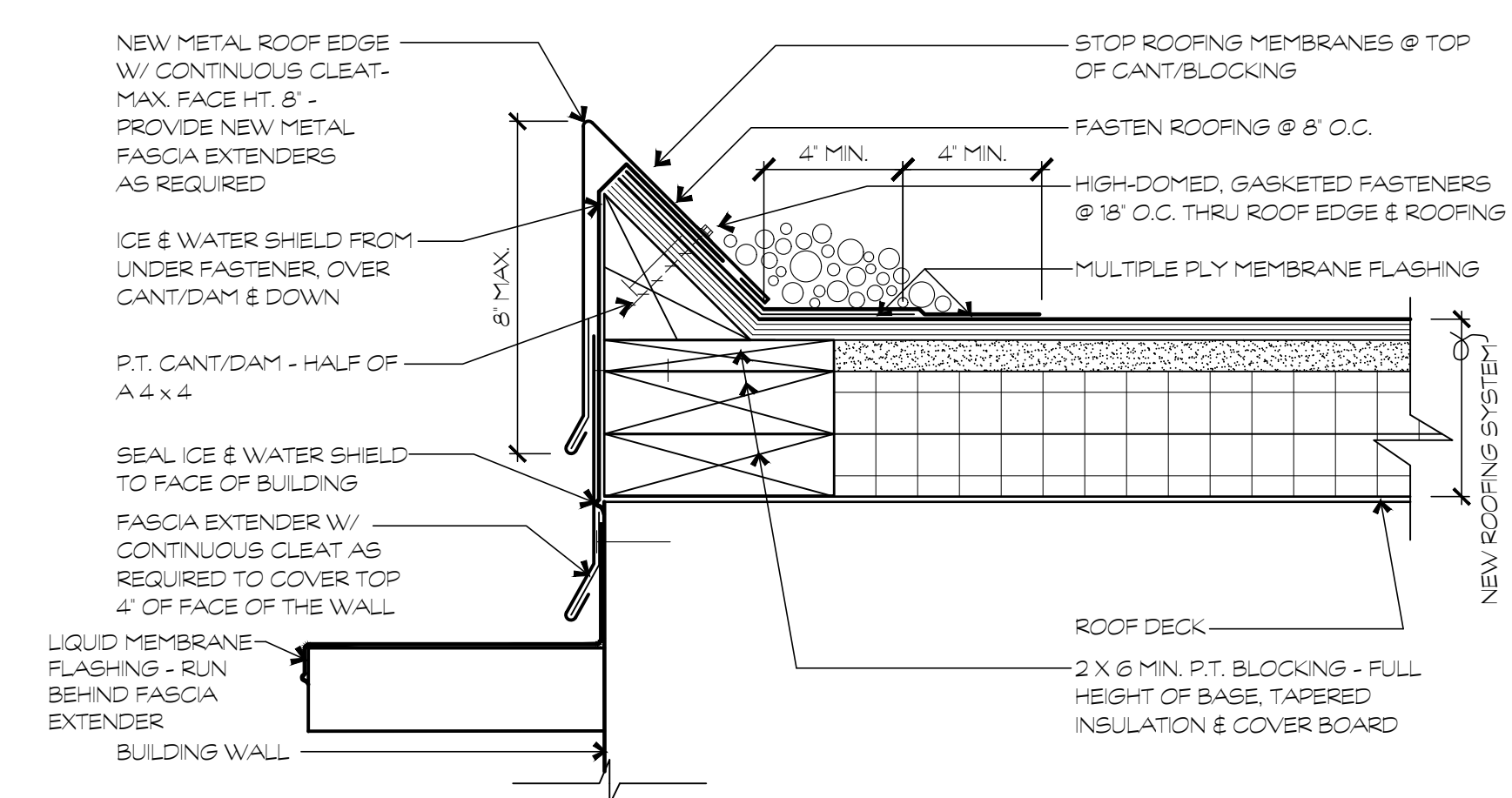
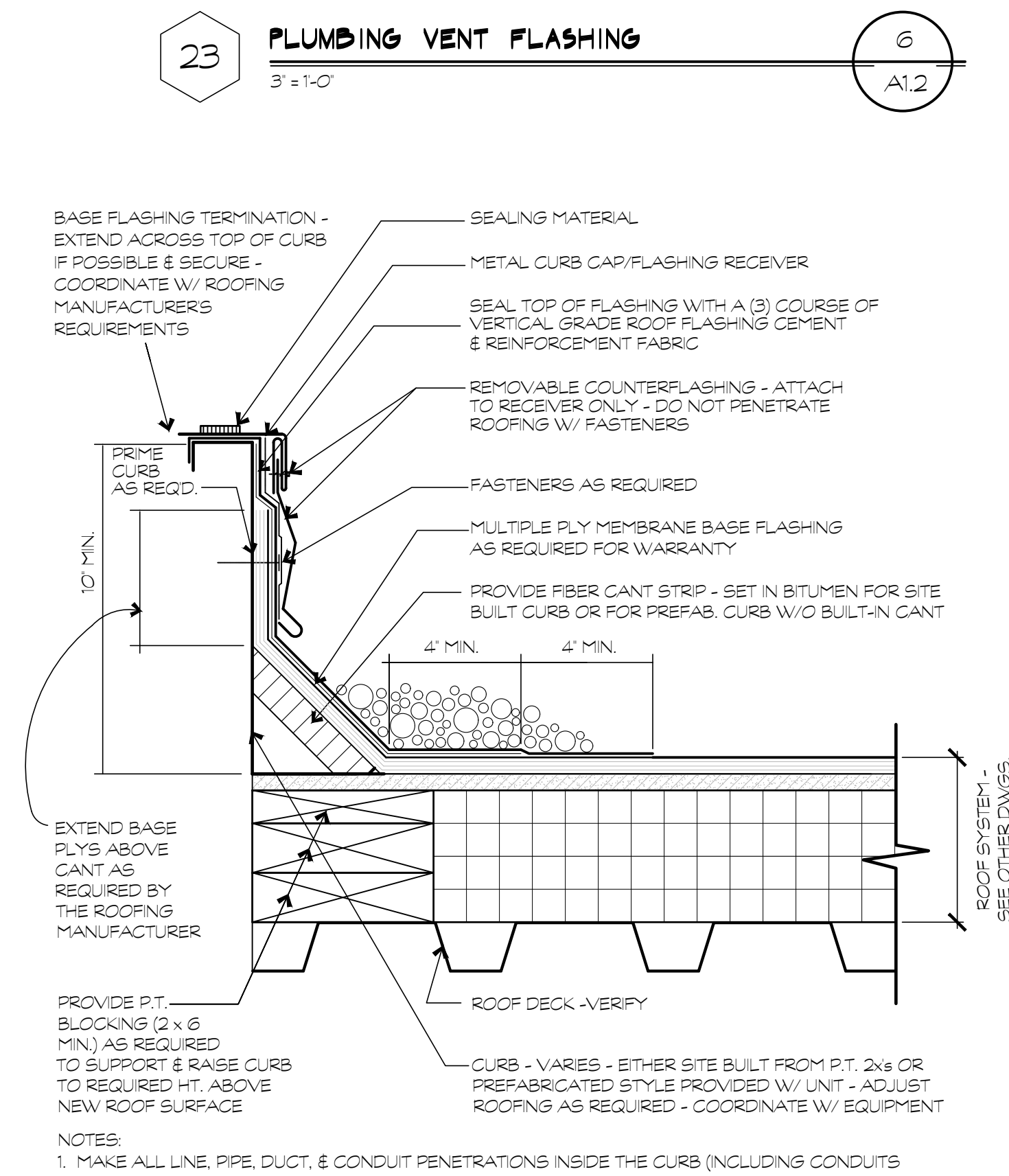
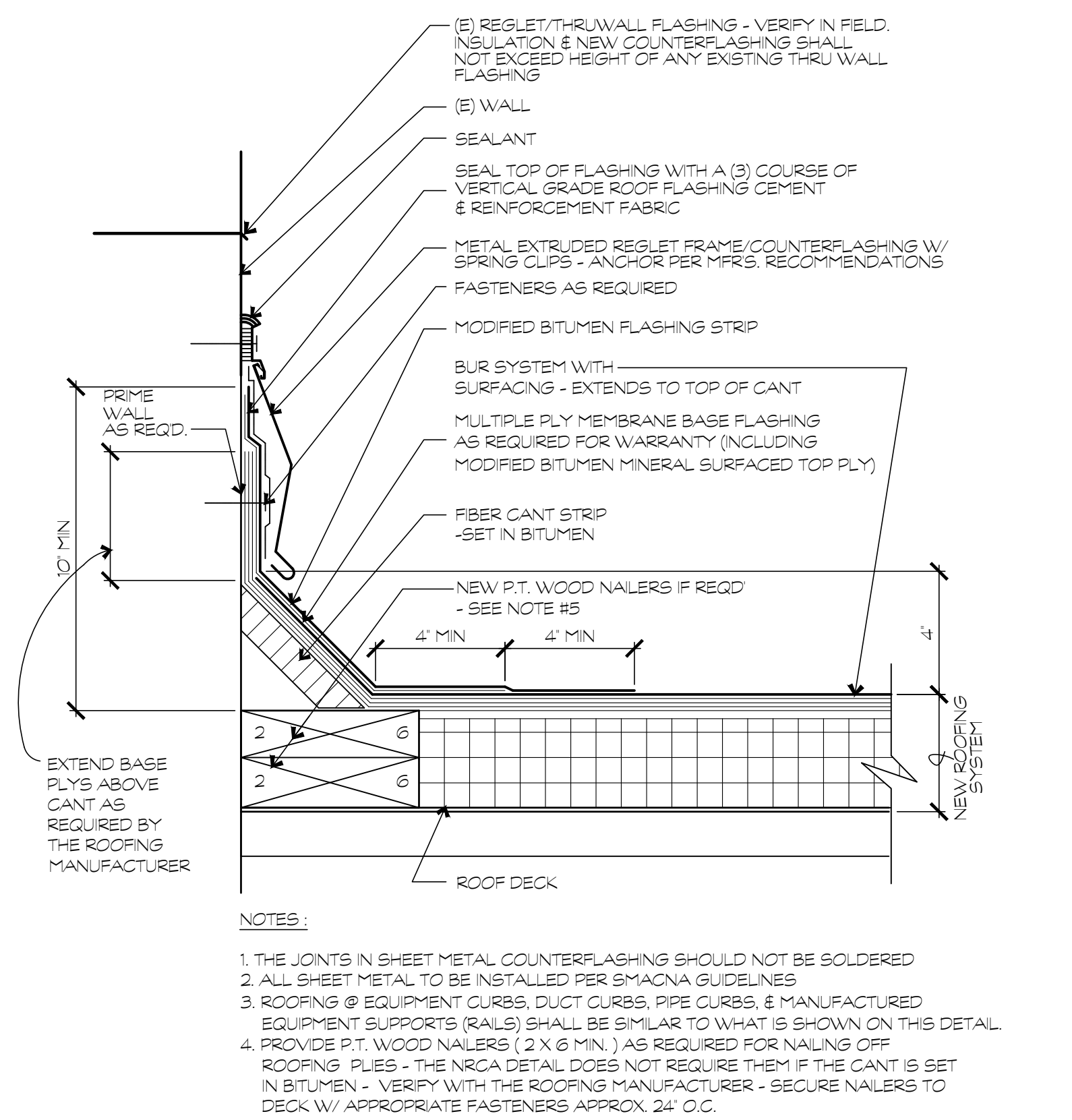
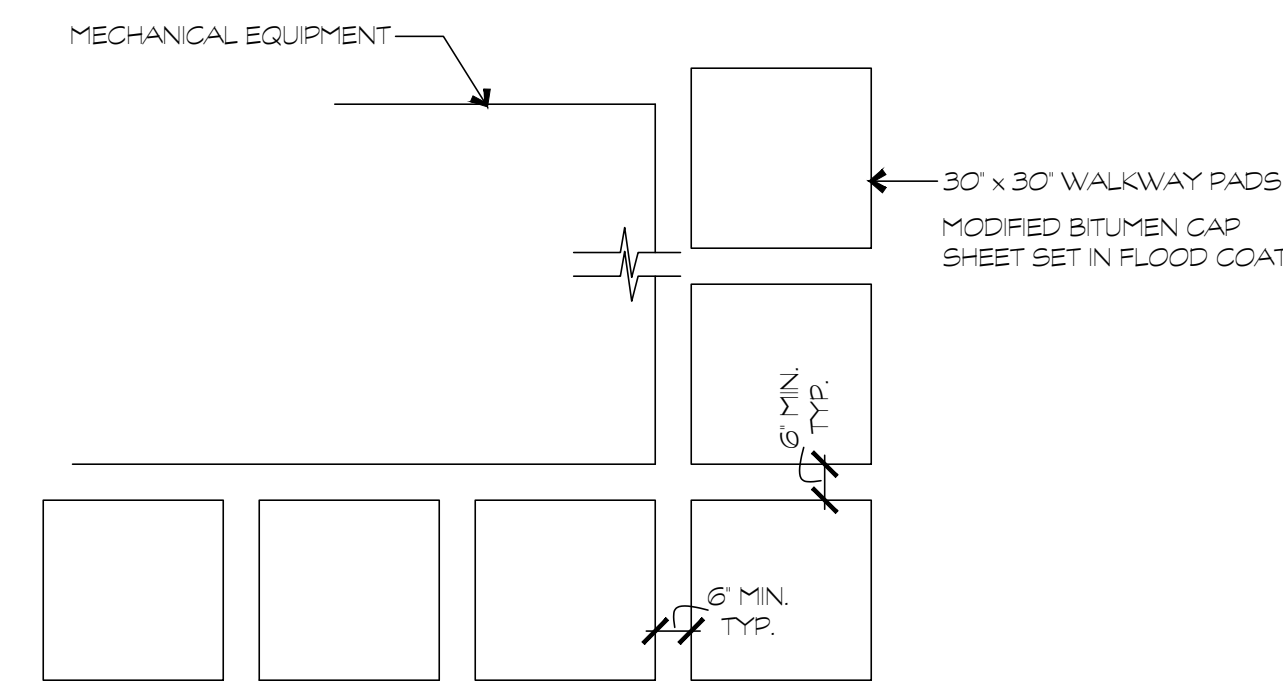
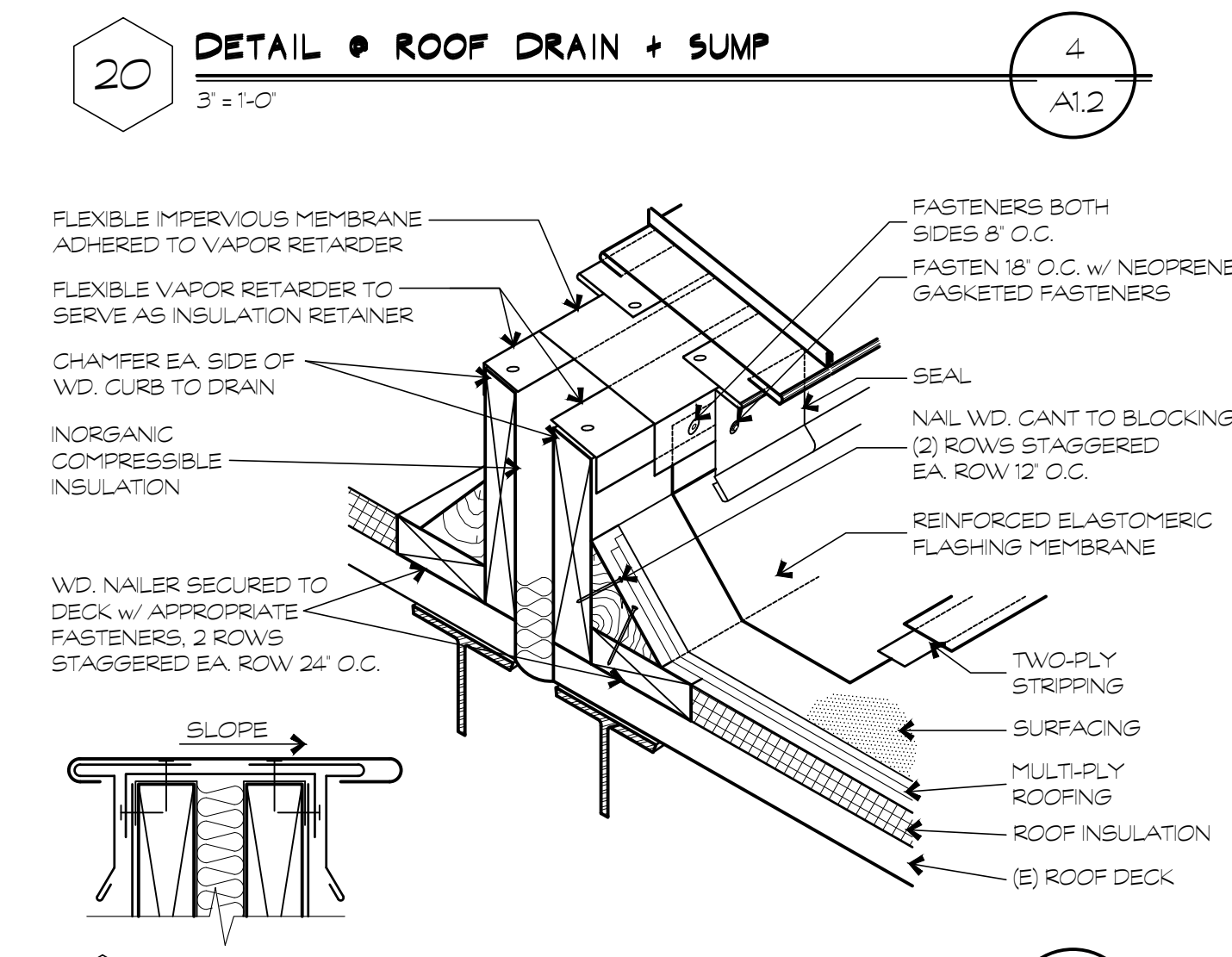
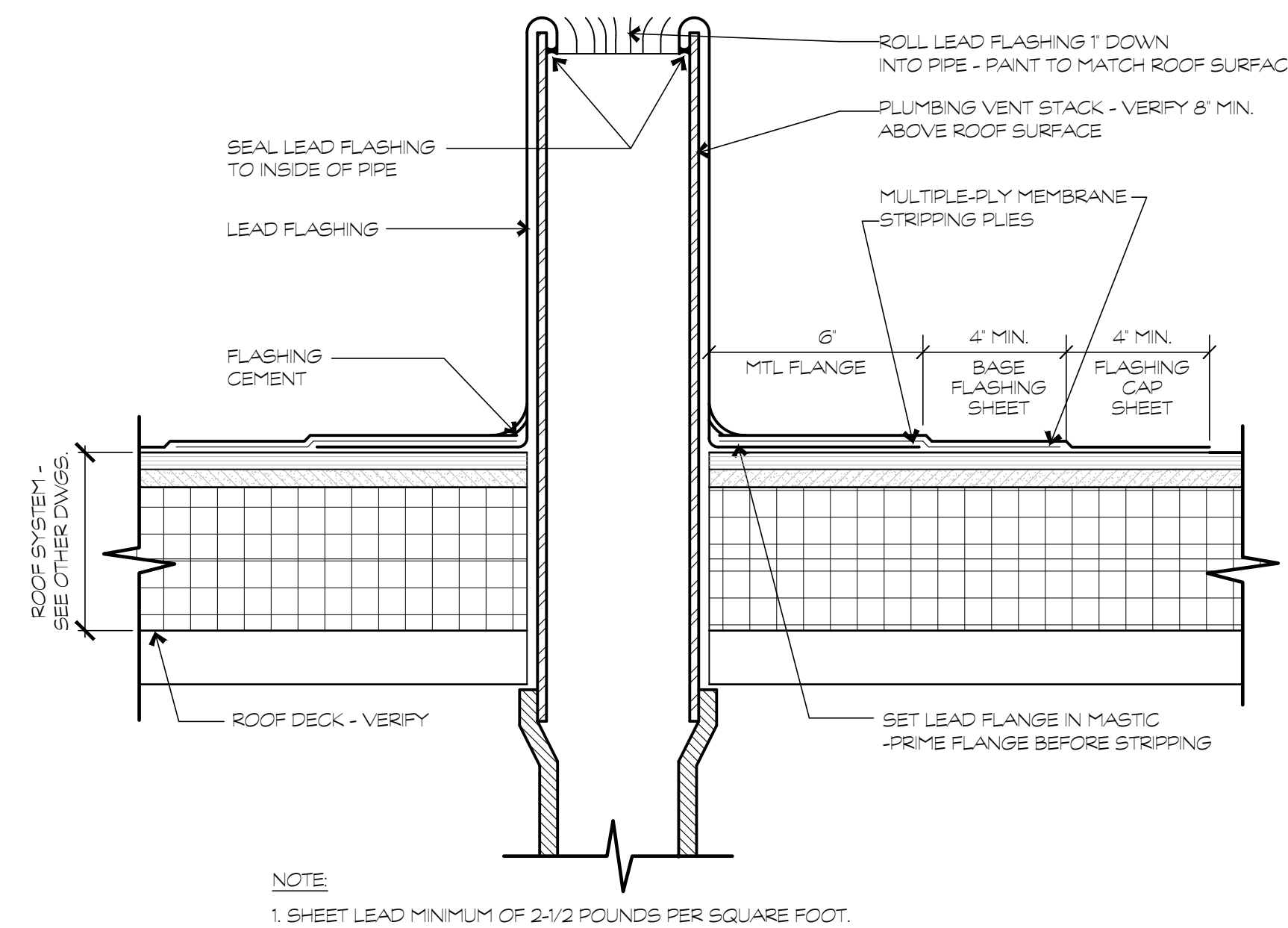
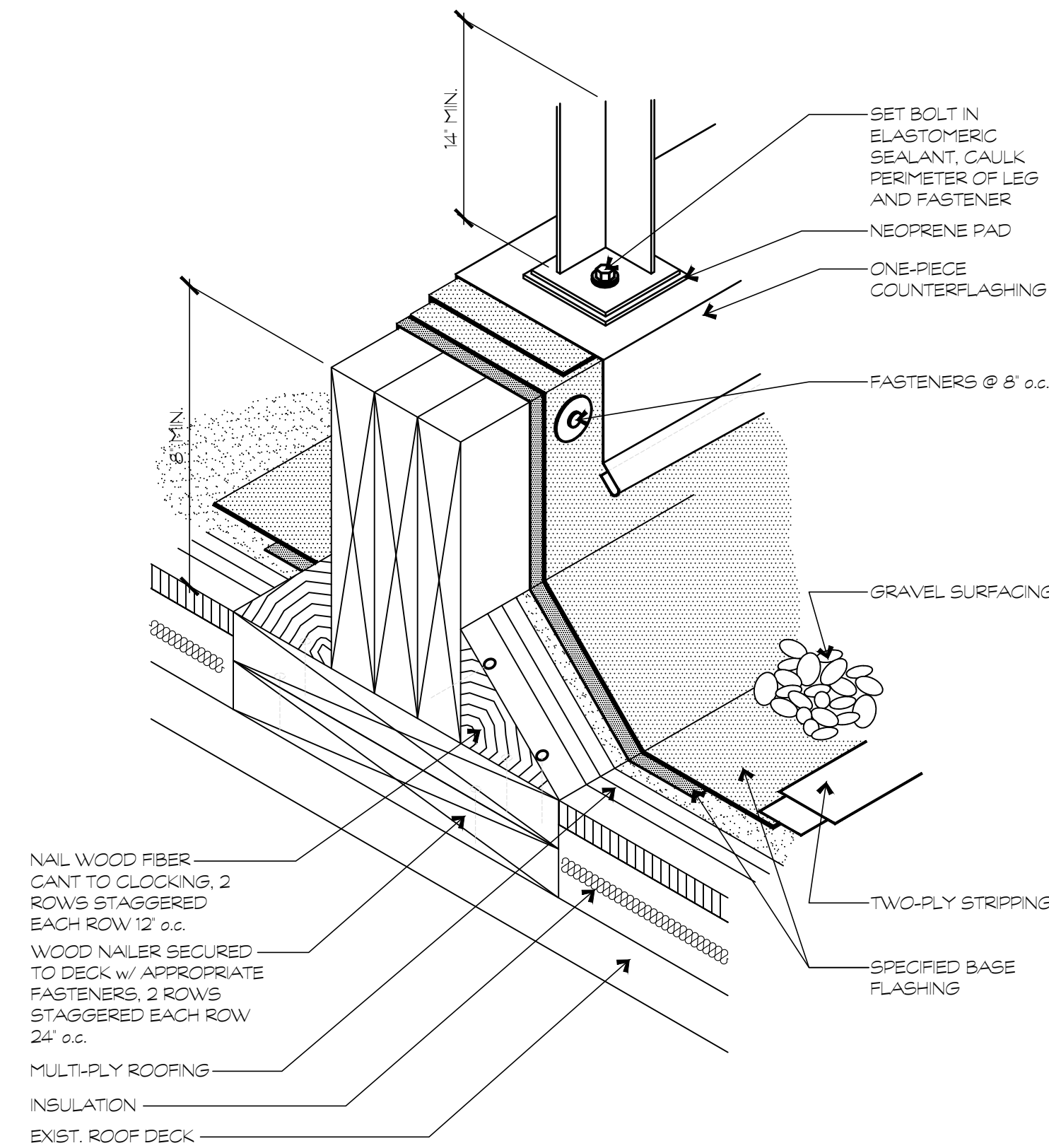
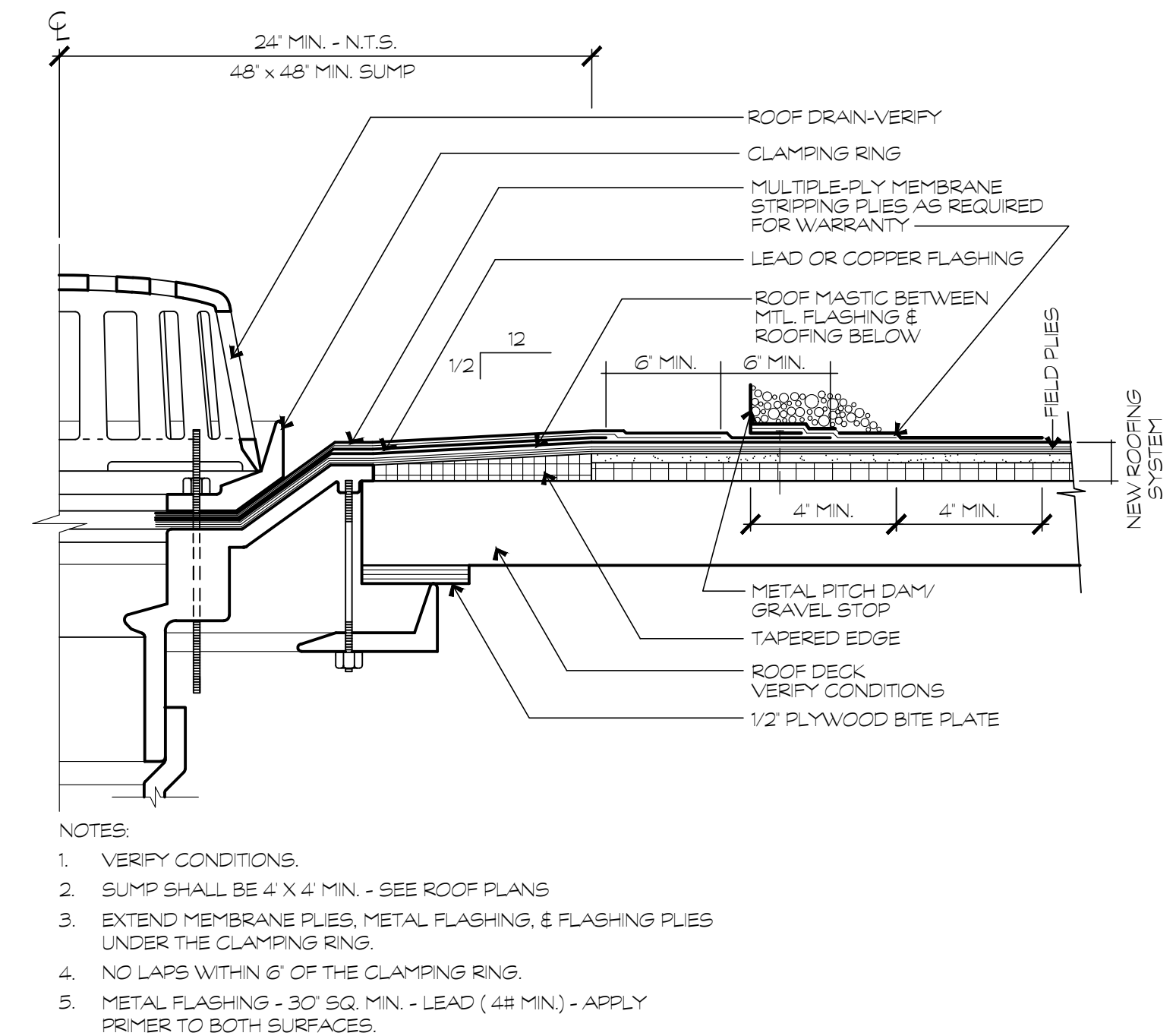
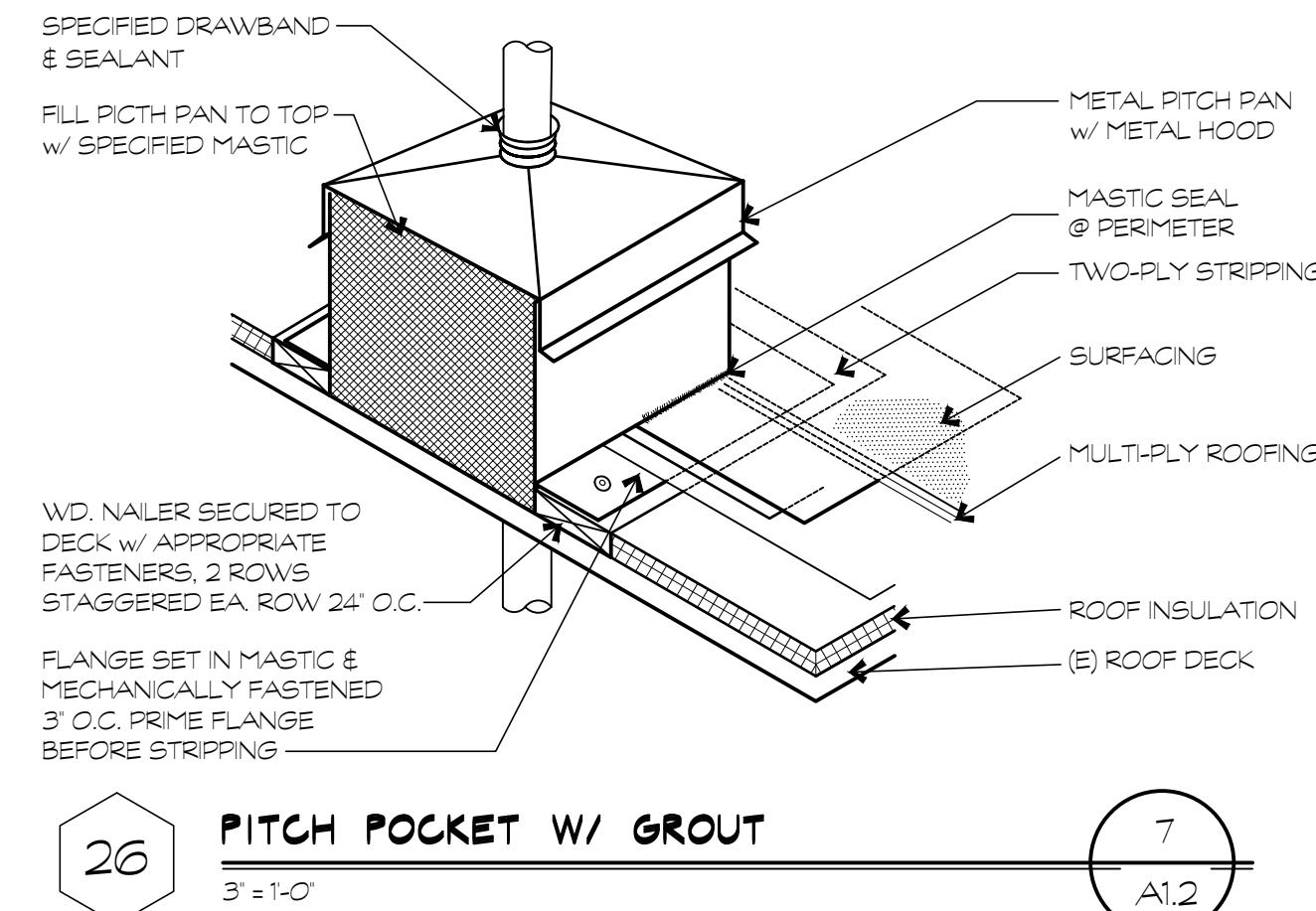
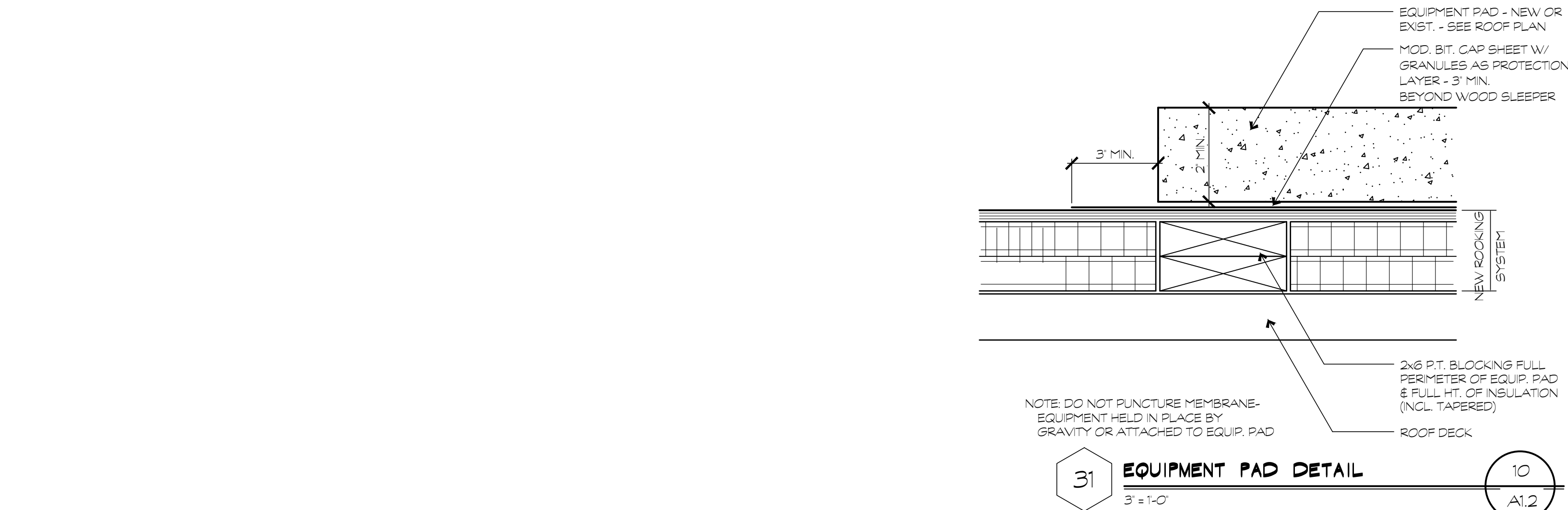
A1.1

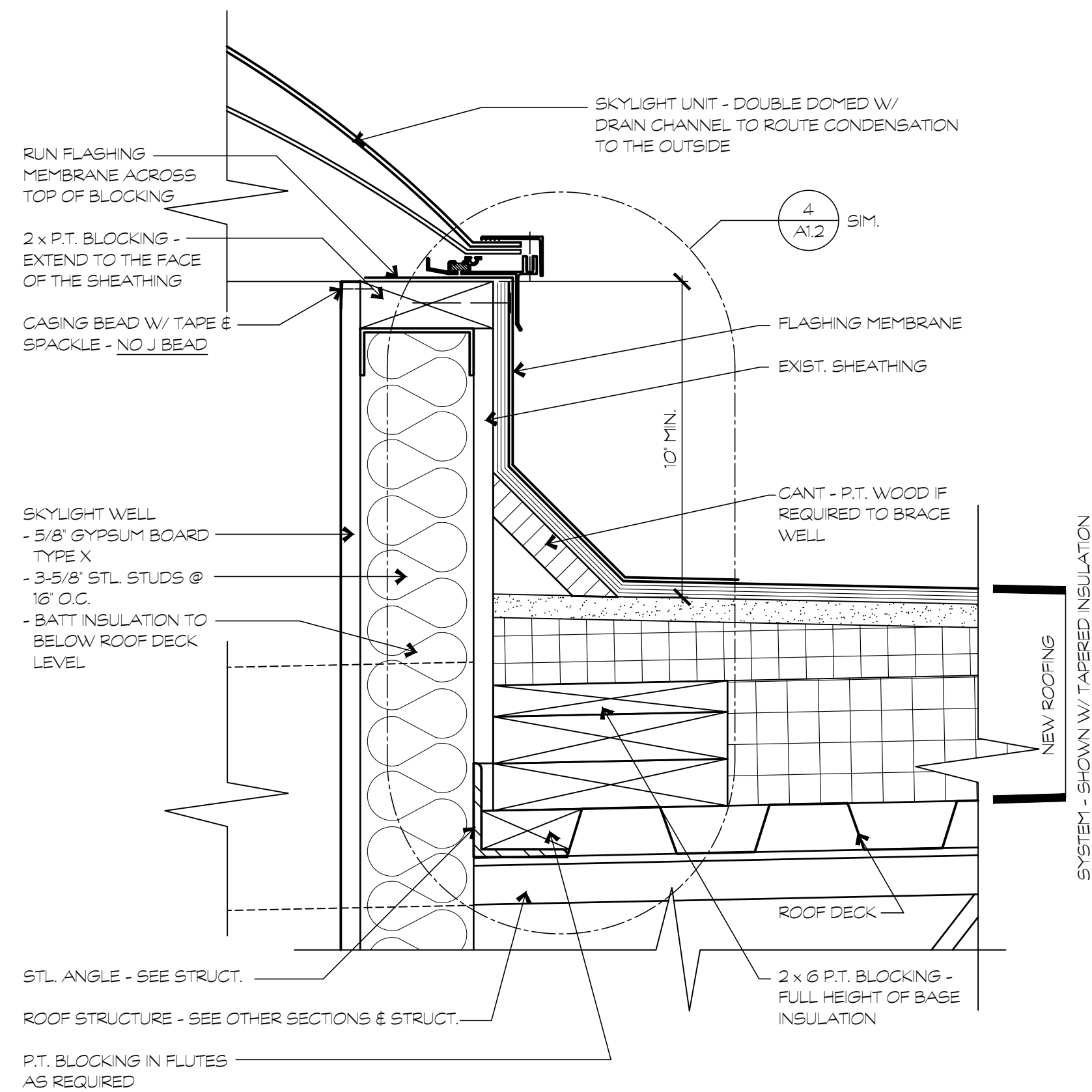
I OF SHEETS

DATE: 01.14.21

DRAWING VENT IS TO INDICATE GENERAL ROOFING DRAINAGE AND VENT LOCATIONS. IT SHALL NOT BE SCALED FOR THE LAYOUT OF THE STATE OF THE DRAWING. THE DRAWING SHALL BE USED AS A GUIDE FOR THE VERIFICATION OF DIMENSIONS.

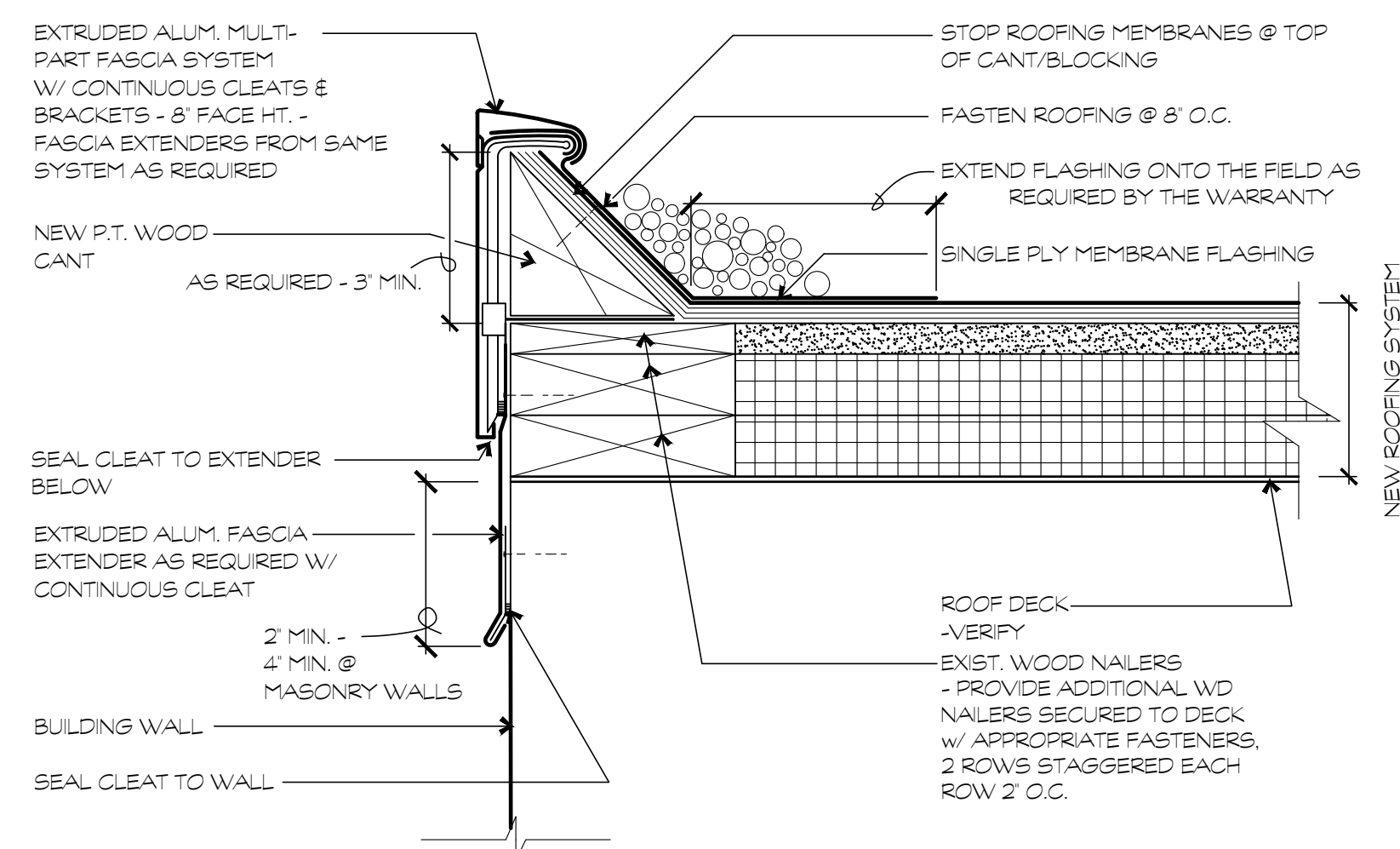
VERIFY THAT THESE DOCUMENTS WERE PREPARED BY A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. THE ARCHITECT'S LICENSE NO. 17122. EXPIRATION DATE 7/1/22.





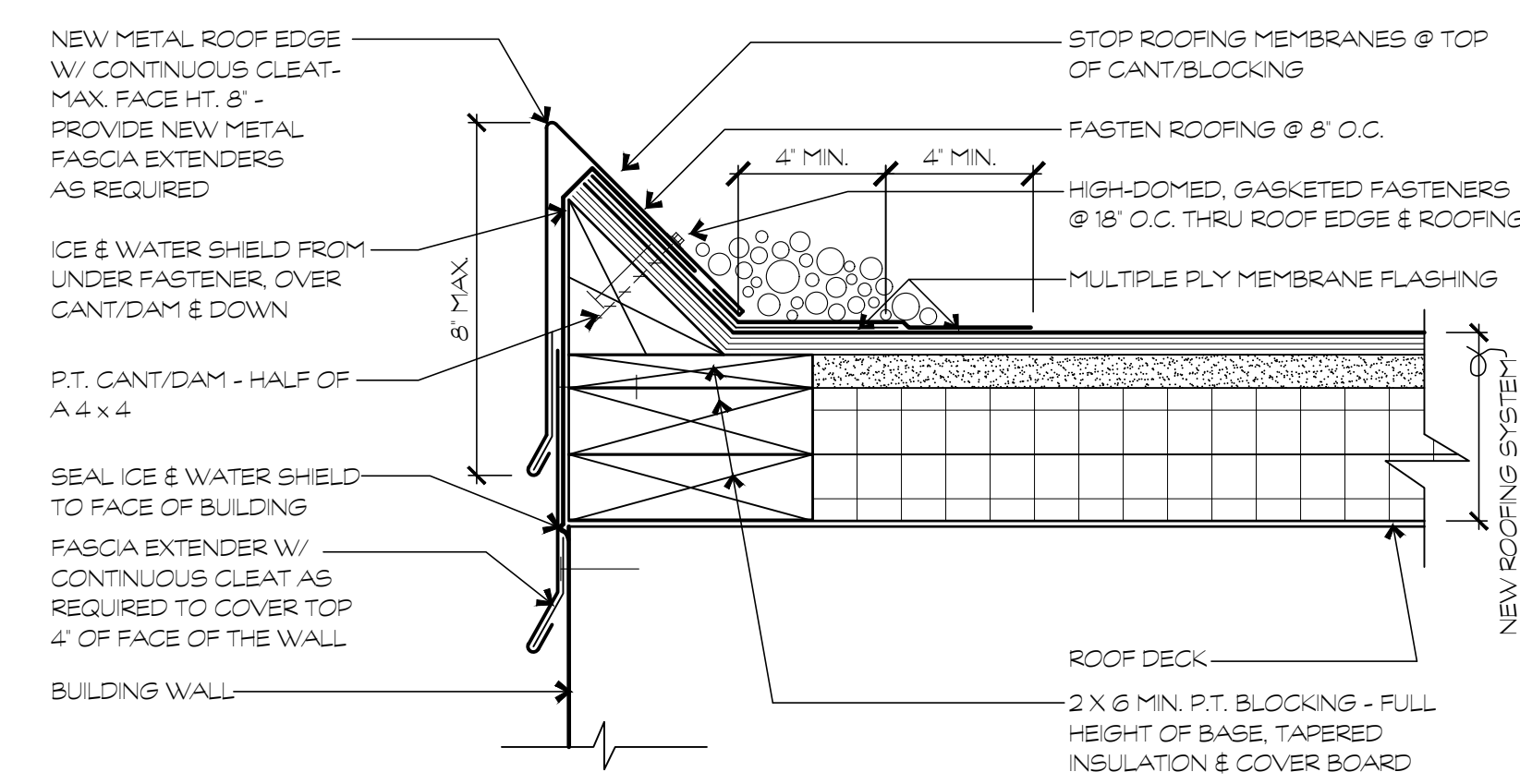
32 DETAIL • SKYLIGHT
3" = 1'-0"

5
A1.3



C TYPICAL DETAIL • ROOF EDGE (TRELINE)
3" = 1'-0"

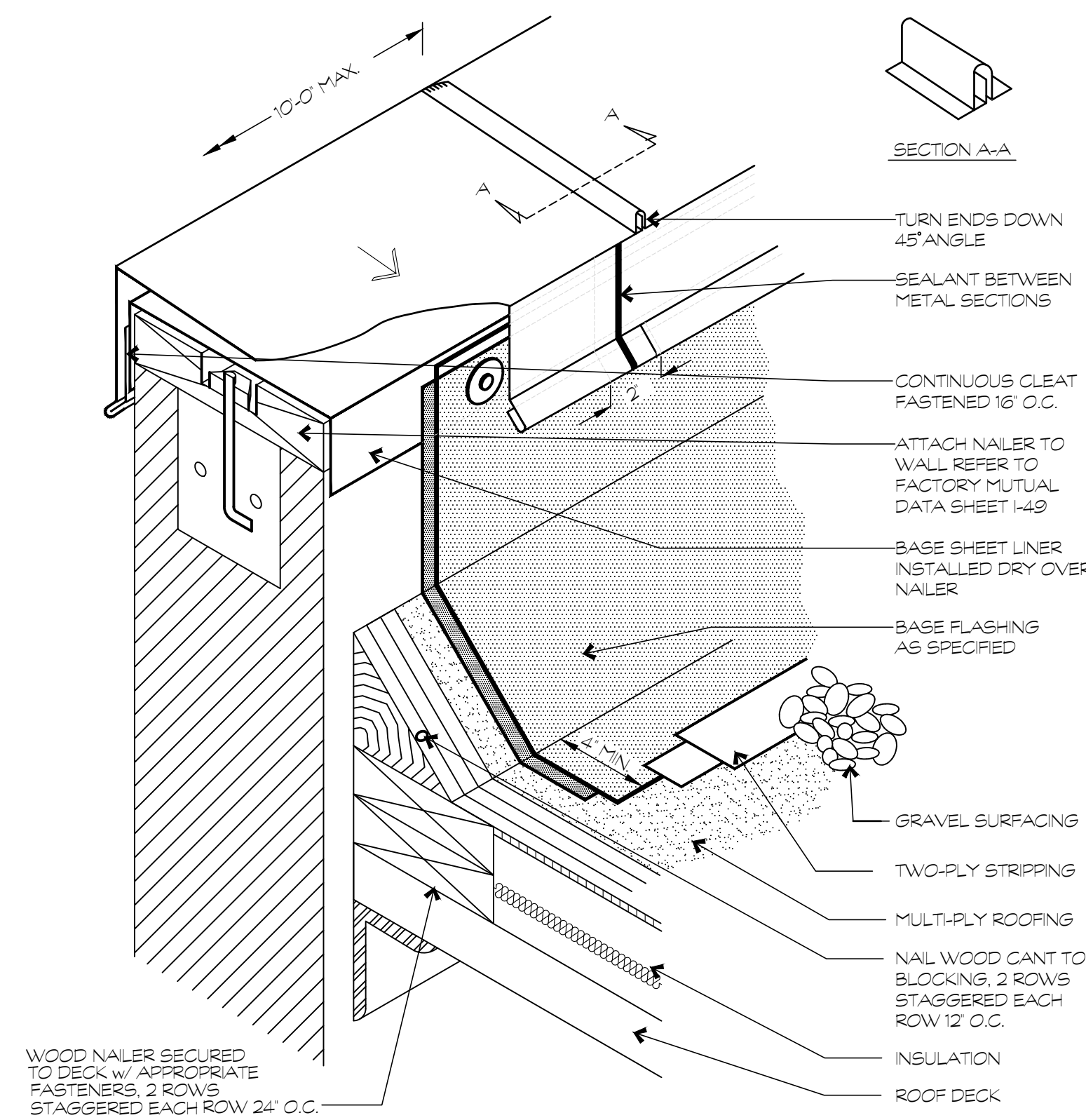
3
A1.3



B SECTION DETAIL • ROOF EDGE
3" = 1'-0"

3" = 1'-0"
SCALE
FEET

2
A1.3



D TYP. ROOF EDGE DTL. - COPING
3" = 1'-0"

4
A1.3

NOTE: REMOVE ANY LOOSE PAVERS

NOTE: ALL ROOF DRAINS TO BE REPLACED

NOTE: ALL AREAS TO BE REPLACED W/ BUR SYSTEM

NOTE: INSULATION TO HAVE A MIN. AVERAGE R VALUE OF 30 FOR EACH ROOF SECTION. MATCH EXISTING THICKNESS AT REPAIR AREAS

LEGEND

TAPERED INSULATION OR SLOPING STRUCTURE SLOPE 1/4" / FT. - TYP.

RD ROOF DRAIN W/ 4" X 4" MIN. SUMP - SEE DETAIL 4/A1.2 - REPLACE ALL DRAINS

V, PV VENT OR PIPE VENT THRU ROOF - SEE DTLS. 6/A1.2

APPROXIMATE HEIGHT OF TAPERED INSULATION ABOVE BASE INSULATION AT A GIVEN POINT

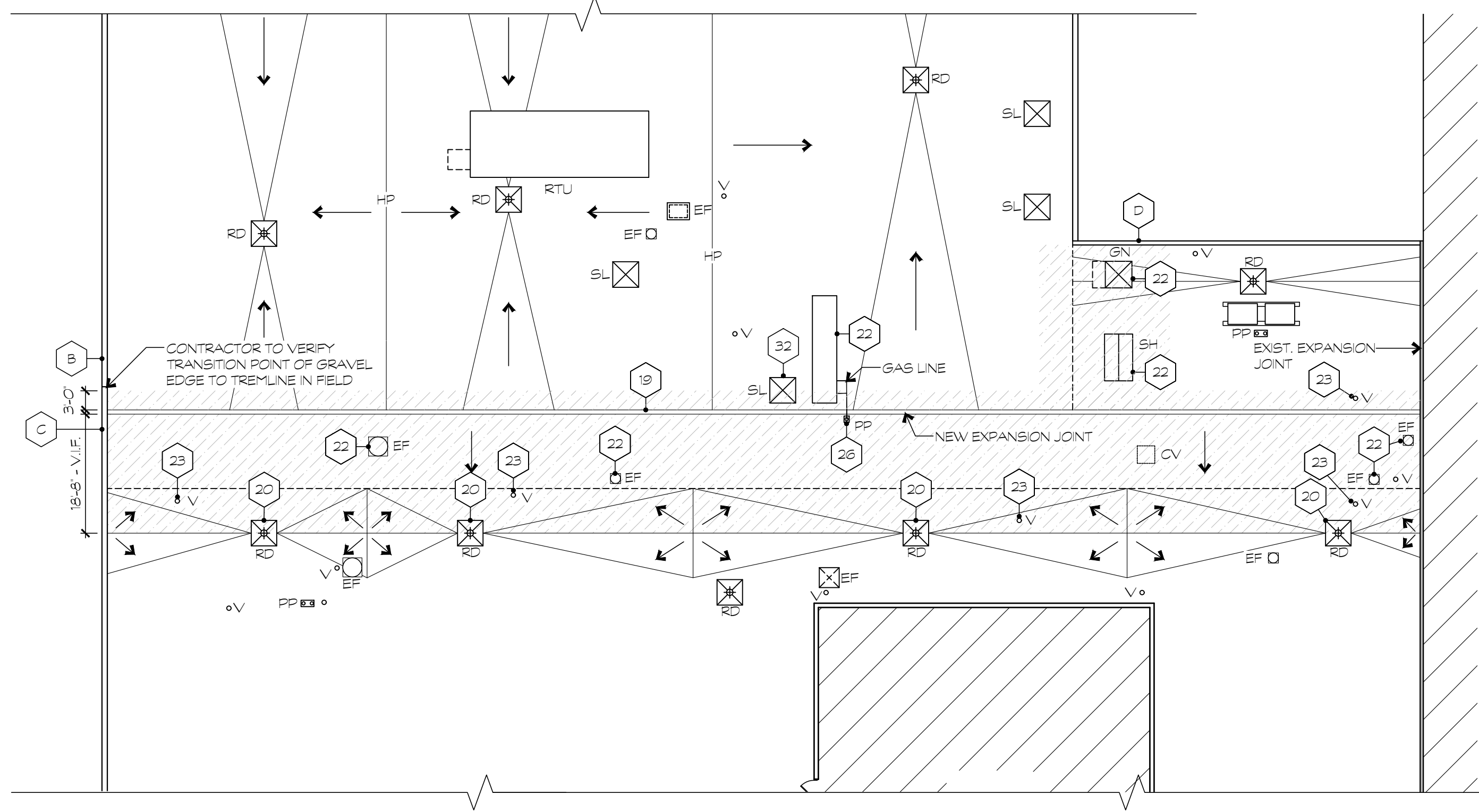
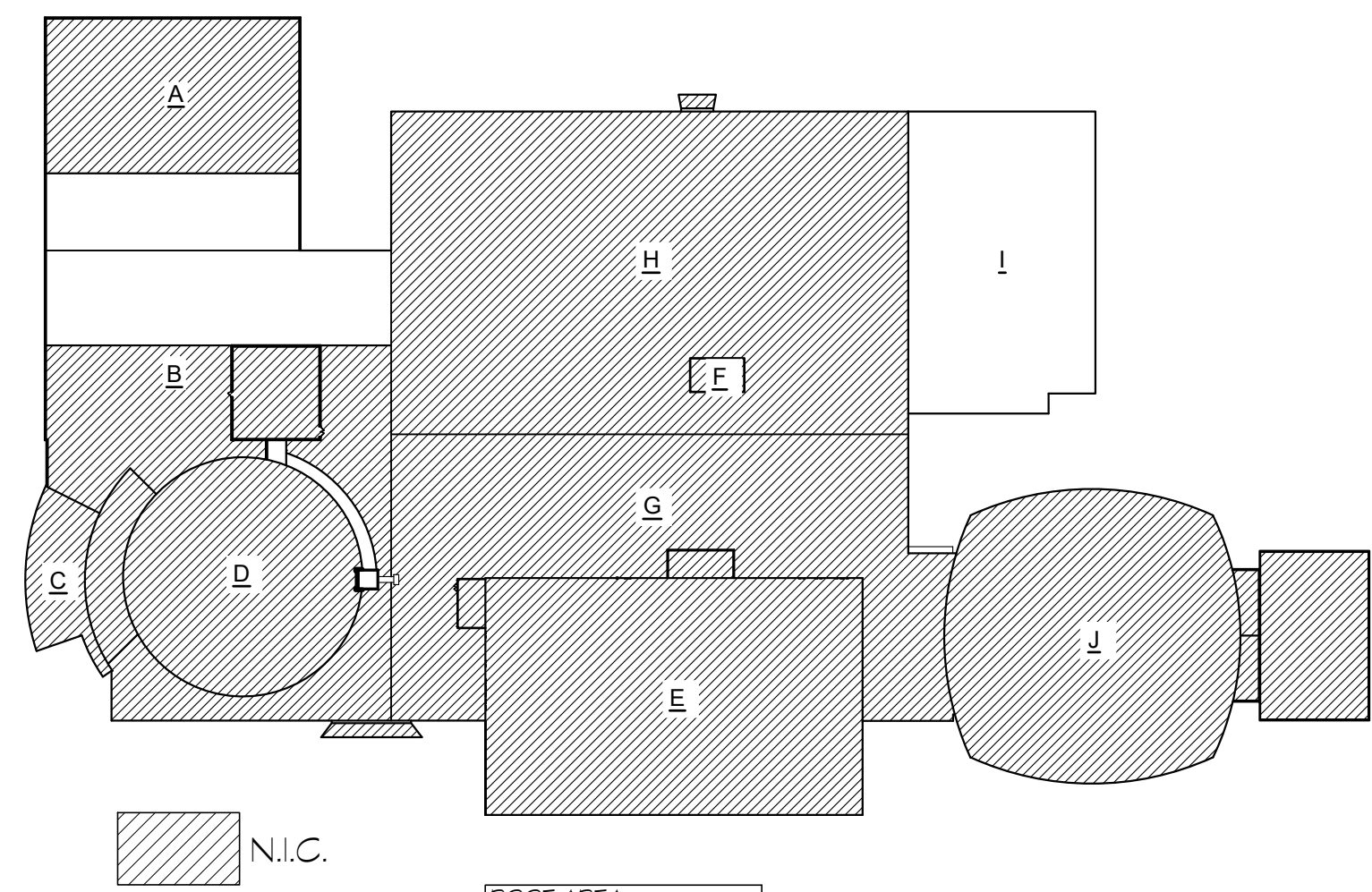
H.P. HIGH POINT OF TAPERED INSULATION

EF EXHAUST FAN - SEE DETAIL 5/A1.2

PP PITCH POCKET - SEE DETAIL 7/A1.2

CV CAPPED VENT - REMOVE IF POSSIBLE

HATCHED AREA OF NEW ROOFING PER EXPANSION JOINT INSTALL



PARTIAL ROOF PLAN - AREA A + B

1/8" = 1'-0"
1/16" = 1'-0"
SCALE
FEET



Attachment #2
January 28, 2021

BFM BUSHEY FEIGHT MORIN ARCHITECTS
473 NORTH POTOMAC STREET, HAGERSTOWN, MD 21740
BFMARCHITECTS.COM | 301-733-5600 | FAX 301-733-5612
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ROOF PLAN
AREA A & B
A1.3
1 OF SHEETS
DATE: 01.14.21

THOMAS JOHNSON HIGH SCHOOL
PARTIAL ROOF REPLACEMENT - AREA 'I'

BFM# 20046

VERIFY THAT THESE DOCUMENTS WERE PREPARED BY AN ARCHITECT OR BY AN ENGINEER OR BY A DESIGNER UNDER THE CLOSE PERSONAL SUPERVISION OF AN ARCHITECT OR BY AN ENGINEER OR BY A DESIGNER. I, THE SIGNER, AM A LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. I AM THE DESIGNER OF THIS PROJECT. I AM RESPONSIBLE FOR THE VERIFICATION OF DIMENSIONS.

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Pre-Bid Meeting Notes January 28, 2021 - Bid 21C4, Gov. T.JHS Roof Replacement Project

The intent of this solicitation is for the replacement of roof sections and all associated work at Governor Thomas Johnson High School. This project includes replacement of roof section I, totaling 19,908 square feet.

This bid is being issued under RFQ 14MISC2, Request for Qualifications of Roofing Contractors. Only pre-qualified roofers under this solicitation can be considered for award.

The Board of Education of Frederick County will receive proposals for Bid 21C4, Gov. Thomas Johnson High School Roof Replacement Project. Proposals will only be received electronically via ProcureNow <https://secure.procurenow.com/portal/fcps> prior to and no later than **2:00 p.m., local time, on February 11, 2021**. Proposal received after this time will not be accepted.

RFP's will be opened and publicly read utilizing Skype Business: (240) 236-6172 (FCPS) Conference ID: 7907906
Meeting URL: <https://meet.fcps.org/kimberly.miskell/D21WC0P9?sl=1>

Tentative Board Award: March 10, 2021

Contract Manager: Kim Miskell, CSBO, Assistant Purchasing Manager, kim.miskell@fcps.org
Contract Administrator: Brian Staiger, Senior Project Manager, Capital Program Department, brian.staiger@fcps.org

For information pertinent to the bidding process, the attention of all contractors, subcontractors and material supply bidders are directed to the:

- Invitation to Bid (Page 3)
- Instruction to Bidders (AIA Document A701) (Pages 15 -28)
- Supplemental Instructions to Bidders (Supplement to AIA A701) (Pages 29 - 42)
- Proposal Form and Signature Page (Page 43 - 44)
- General Conditions and Supplementary Conditions of the Contract (Pages 75 - 142)

Certified Minority Business Enterprises are encouraged to respond to this solicitation notice. The contractor or supplier who provides materials, supplies, equipment and/or services for this construction project shall attempt to achieve the specific overall MBE goal 15% established for this project. All prime contractors, including certified MBE firms, when submitting bids or proposals as general or prime contractors, are required to attempt to achieve this goal from certified MBE firms.

This project will be bid with Prevailing Wage Rates.

Please make sure that your bid submission includes the following:

- Proposal pages completely and accurately filled out.
- Signature Acknowledgement Form completed and signed.
- Minority Business Enterprise Attachment "A" Form completed and signed.
- Minority Business Enterprise Attachment "B" Form completed and signed.
- Statutory Affidavit and Non-Collusion Certification form completed and signed.
- Certificate of Compliance form completed and signed.
- AIA A310 Bid Bond (for 5% of the total bid amount).
- Vendor Conflict of Interest Disclosure Form completed and signed.

Should any bidder find discrepancies in, or omissions from, the drawings and other contract documents need to request clarification in writing. All necessary interpretations will be issued to all bidders in the form of addenda.

Directed to: Brian Staiger, Senior Project Manager, Capital Program Department, brian.staiger@fcps.org
with a copy to Kim Miskell, CSBO, Assistant Purchasing Manager at: kim.miskell@fcps.org

No written requests received within seven (7) calendar days prior to the bid due date will be considered and no addenda will be issued later than four (4) calendar days prior to the bid opening date. (February 2, 2021 - 4:00 p.m. Questions Due)

Laws and Regulations:

The vendor will comply with all Federal, State, and local laws, ordinances and regulations pertaining to work under their charge. If the vendor performs any work which it knows or should know to be contrary to such laws, ordinance, and regulations and without such notices to FCPS they shall bear all costs arising therefrom.

All vendors and subcontractors must abide by the Board of Education of Frederick County policies and FCPS regulations while working on school property.

It is the contractor's responsibility to ensure that no individuals who are registered sex offenders are working on this project. This also applies to subcontractors and materials/equipment supplies as well. For projects lasting longer than a few months, the contractor shall periodically re-check the names of workers against the Maryland Sex Offender's Registry to ensure ongoing compliance.

Pre-Bid Meeting Notes January 28, 2021 - Bid 21C4, Gov. T.JHS Roof Replacement Project

Additionally, individuals that have been convicted of a crime of violence under §3-307 and §3-308 of the Criminal Law Article are not eligible to work on any FCPS project.

The use of tobacco and alcohol beverages in any form is prohibited on FCPS property at all times, all year.
No person shall carry or possess any rifle, gun, knife, or deadly weapon of any kind on FCPS property.

Liquidated Damages will be assessed at \$1,734.00 per day for each calendar day required to achieve substantial completion beyond the substantial completion dated authorized by the contract.

Anticipated construction will commence on or around June 24, 2021.

Substantial Completion shall be achieved by August 10, 2021.

Pre-Bid Attendance Roster
 Bid 21C4, Gov. TJHS Roof Replacement Project

<u>Company</u>	<u>Contact Name</u>	<u>Contact Email</u>
Hack Hack Services	Jasen Staley Tom Wolfe	TWOLFE@HOVICKS.COM
HEIDLER ROOFING	ROD EUGERT	REVERETT@HEIDLER ROOFING.COM
HEIDLER ROOFING Lucas Besch	JEFF SHAW Marius Roofing	JSHAW@HEIDLER ROOFING.COM lbesch@davidmarius.com
Tremco	Evan Yoder	eyoder@tremcoinc.com
CitiRoof	Bryan Maloney	sales@citiroof.com
Ironshore	Jasmin Edwards	jdowney@ironshoregrp.com