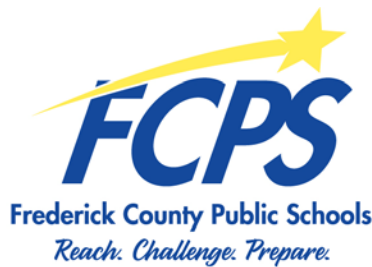


Purchasing Office
191 South East Street
Frederick, Maryland 21701
301-644-5208 phone
301-644-5213 fax
kim.miskell@fcps.org



Kerrie Koopman CPPB, CPPO,
Purchasing Manager
**Kim Miskell, CSBO, Assistant Purchasing
Manager**
Bill Meekins CPPB, CPPO, CSBO, CPCP,
Purchasing Agent
Shane Ryberg, Purchasing Agent

ADDENDUM

February 25, 2020

ADDENDUM # 3

Bid 20C3, Carroll Manor Elementary School Window and Door Replacement - Phase II

REVISED DUE DATE & TIME: FCPS Main Lobby, Friday, February 28, 2020, prior to and time stamped no later than 11:00 A.M.

This addendum is being issued to provide additions, corrections, clarifications and answers to certain questions raised referencing the original bid packages and any resultant contracts for the above bid.

1. Spec Section Clarifications:
HORIZONTAL LOUVER BLINDS 12 51 20 – page 3 - 3.06 SCHEDULE
REPLACE THE ORIGINAL 3.06 SCHEDULE PARAGRAPH INDICATING QUANTITIES WITH THE FOLLOWING:
3.06 SCHEDULE
A. Provide louver blinds at all exterior openings receiving new windows. All new windows will receive blinds.
Typical of two (2) sizes:
Type 1: 3'-4" x 5'-8" H; quantity/exact size to be determined
Type 2: 7'-8" x 5'-8" H; quantity/exact size to be determined
2. This Addendum includes the following attachment(s):
 - a. Revised Drawing D-101 (1 page)

Thank you for your interest in bidding with Frederick County Public Schools and we apologize for any inconvenience this may have caused.

Sincerely,

Kim Miskell

Kim Miskell, CSBO,
Assistant Purchasing Manager

km/ab

pc: Vernon Beals, Project Manager III, Construction Management

GENERAL NOTES

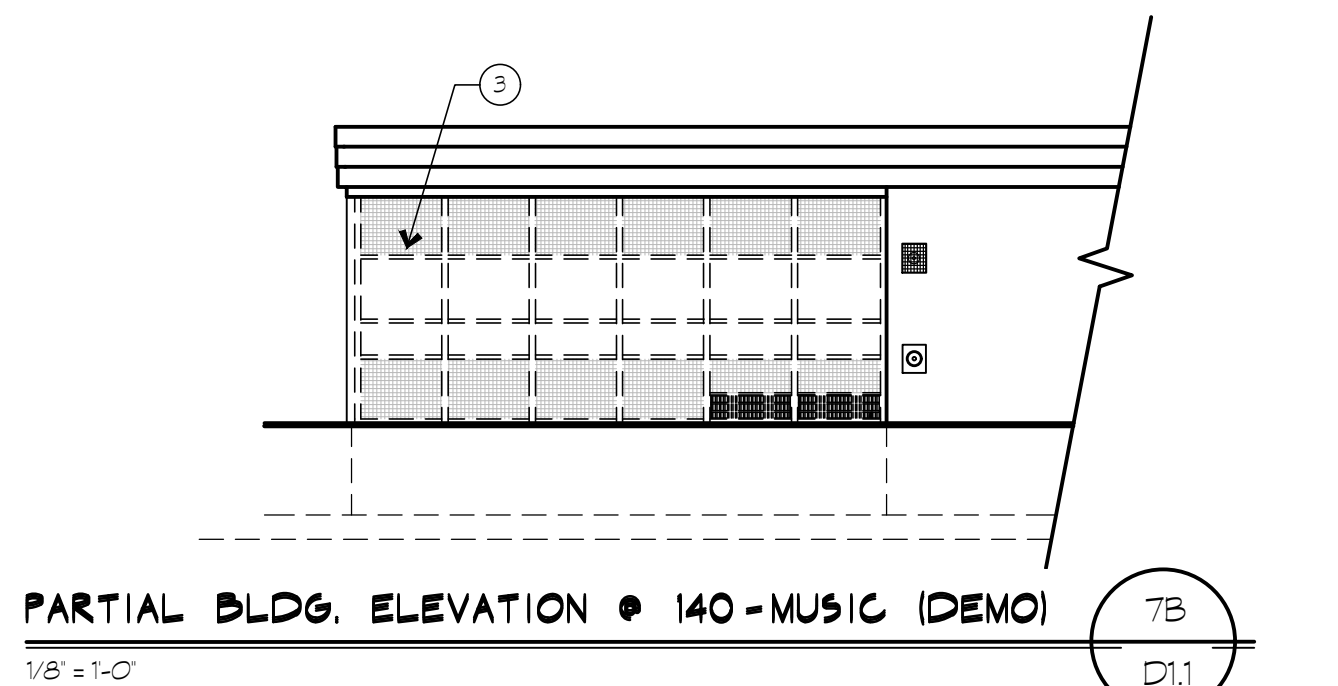
1. AREAS OF DEMOLITION ARE DENOTED BY DASHED LINES UNLESS OTHERWISE DIRECTED.
2. THE OWNER HAS FIRST REFUSAL RIGHTS ON ALL ITEMS & MATERIALS REMOVED. ALL ITEMS & MATERIALS NOT RETAINED BY THE OWNER SHALL BE DISPOSED OF PROPERLY BY THE CONTRACTOR.
3. ALL AREAS OF DEMOLITION SHALL BE PATCHED AND REPAIRED AS REQUIRED FOR NEW CONSTRUCTION & FINISHES.
4. COORDINATE DEMOLITION WITH PROPOSED NEW CONSTRUCTION.
5. REMOVE EXISTING FINISHES WHERE NEW FINISHES ARE SCHEDULED. PREPARE EXISTING SURFACES ACCORDINGLY.
6. THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS BEFORE BEGINNING DEMOLITION & CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF EXISTING MASONRY OPENINGS.
8. THE CONTRACTORS ARE RESPONSIBLE FOR INSPECTING THE JOBSITE PRIOR TO SUBMITTING THE BID. ALL VISIBLE ASPECTS OF THE EXISTING CONDITIONS WILL BE CONSIDERED TO BE INCLUDED WITHIN THE BASE BID AND NOT CONSIDERED AS EXTRA WORK.
9. THE SELECTIVE DEMOLITION AS SHOWN ON THE DRAWINGS ARE DIAGNOSTIC, AND IN NO WAY ATTEMPT TO SHOW ALL EXISTING. FIXTURES, CONNECTIONS AND FITTINGS AND OTHER MISCELLANEOUS ITEMS. THE COMPLETE REMOVAL OF ALL EXISTING SYSTEMS WILL BE REQUIRED BY THE CONTRACTOR AND DISPOSED OFF SITE ACCORDING TO ALL LOCAL CODES AND AUTHORITY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE TEMPORARY EXTERIOR WALL CONSTRUCTED BY THE DEMOLITION CONTRACTOR.
11. THE CONTRACTOR SHALL BE RESPONSIBLE TO TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE BUILDING AT ALL TIMES AND TO PROVIDE AND BE RESPONSIBLE FOR SHORING AND BRACING REQUIRED THROUGHOUT THE CONSTRUCTION PERIOD.
12. THE WORK DESCRIBED WITHIN THE CONTRACT DOCUMENTS SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS AND TO WARRANTY REQUIREMENTS.

DEMOLITION NOTES

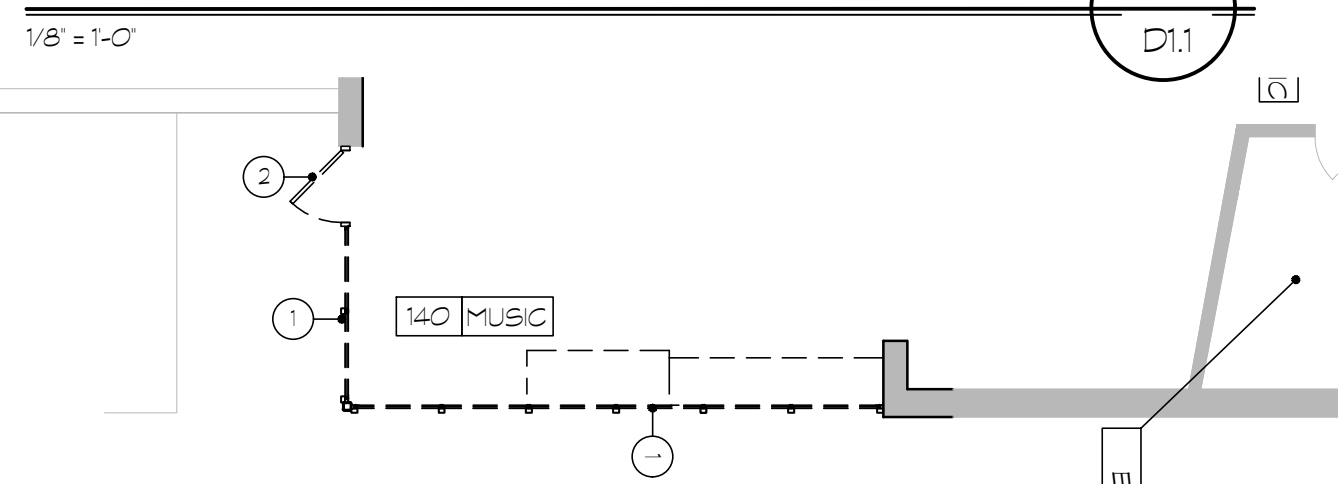
- (1) METAL WINDOW SYSTEM, GLAZING AND INTEGRATED PANELS TO BE REMOVED BY OWNER. PATCH & REPAIR ADJACENT FINISHES AS REQUIRED.
- (2) DOOR FRAMES & HARDWARE TO BE REMOVED BY OWNER. PATCH & REPAIR ADJACENT WALLS & FLOOR AS REQUIRED.
- (3) ALUM WINDOW & GLAZING and/or DOORS TO BE REMOVED BY OWNER. PATCH & REPAIR ADJACENT FINISHES AS REQUIRED.
- (4) WALL HEATER (REFER TO MEP DRAWINGS) TO BE REMOVED BY OWNER. STORE UNIT FOR REINSTALLATION. COORDINATE WITH OWNER AND ABATEMENT CONTRACTOR.
- (5) WINDOW AIR CONDITIONING UNIT TO BE REMOVED BY OWNER.
- (6) SAWCUT & REMOVE (6) CONCRETE RAMP & EXISTING DOORS, GRACE AND RESEED AS REQ.
- (7) WOOD BENCH TO BE REMOVED BY OWNER.
- (8) CASEWORK TO BE REMOVED BY OWNER.
- (9) PLUMBING FIXTURES & ASSOC. PIPING TO BE REMOVED BY OWNER.
- (10) FLOORING TO BE REMOVED BY OWNER (ENTIRE ROOM).
- (11) VOT FLOORING TO BE REMOVED BY THE CONTRACTOR (ENTIRE ROOM).
- (12) METAL FRAMED WINDOWS AND DOORS TO BE REMOVED BY THE CONTRACTOR.

SPECIAL NOTES:

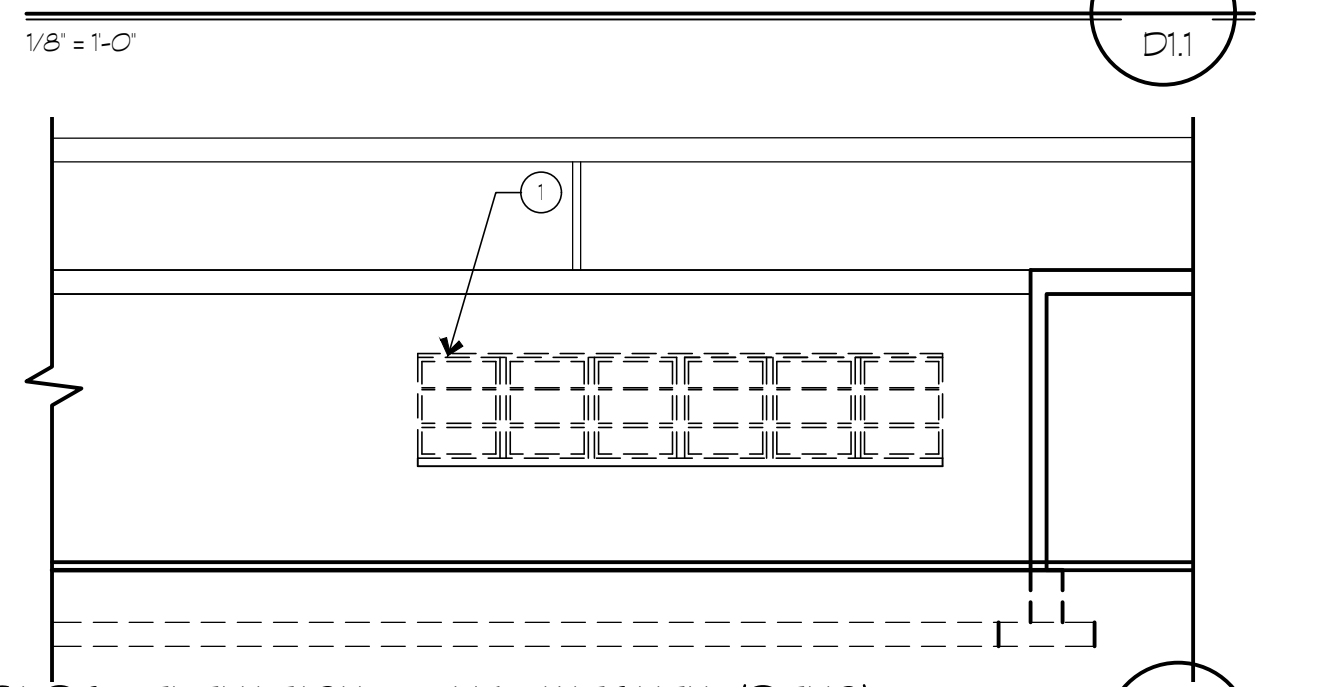
1. THE OWNER IS COORDINATING THE MAJORITY OF DEMOLITION WORK THROUGH A DIFFERENT CONTRACT PRIOR TO THE START OF THIS PROJECT. THE CONTRACTOR FOR THIS PROJECT SHALL PERFORM MINOR DEMOLITION AND REPAIR AS NEED TO COMPLETE ALL NEW WORK. WORK INCLUDES BUT IS NOT LIMITED TO CUTTING AND GRINDING OF MISC. STEEL, GROUTING MASONRY VOIDS, GROUTING LOOSE MASONRY, PATCHING MASONRY HOLES, REMOVAL OF CEILINGS TO ACCESS EXISTING STRUCTURE, TEMPORARY REMOVAL OF LIGHTING IF CONFLICTING.
2. THE G.C. FOR THIS PROJECT SHALL BE RESPONSIBLE TO MAINTAIN THE TEMPORARY WALLS CONSTRUCTED BY THE DEMOLITION CONTRACTOR.
3. THE CONTRACTOR FOR THIS PROJECT SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE TEMPORARY WALLS CONSTRUCTED BY THE DEMOLITION CONTRACTOR.
4. THE CONTRACTOR FOR THIS PROJECT SHALL BE RESPONSIBLE TO PHASE THE REMOVAL. THE EXISTING TEMPORARY WALLS SO AS TO MINIMIZE THE CLASSROOMS BEING OPEN TO THE ELEMENTS.



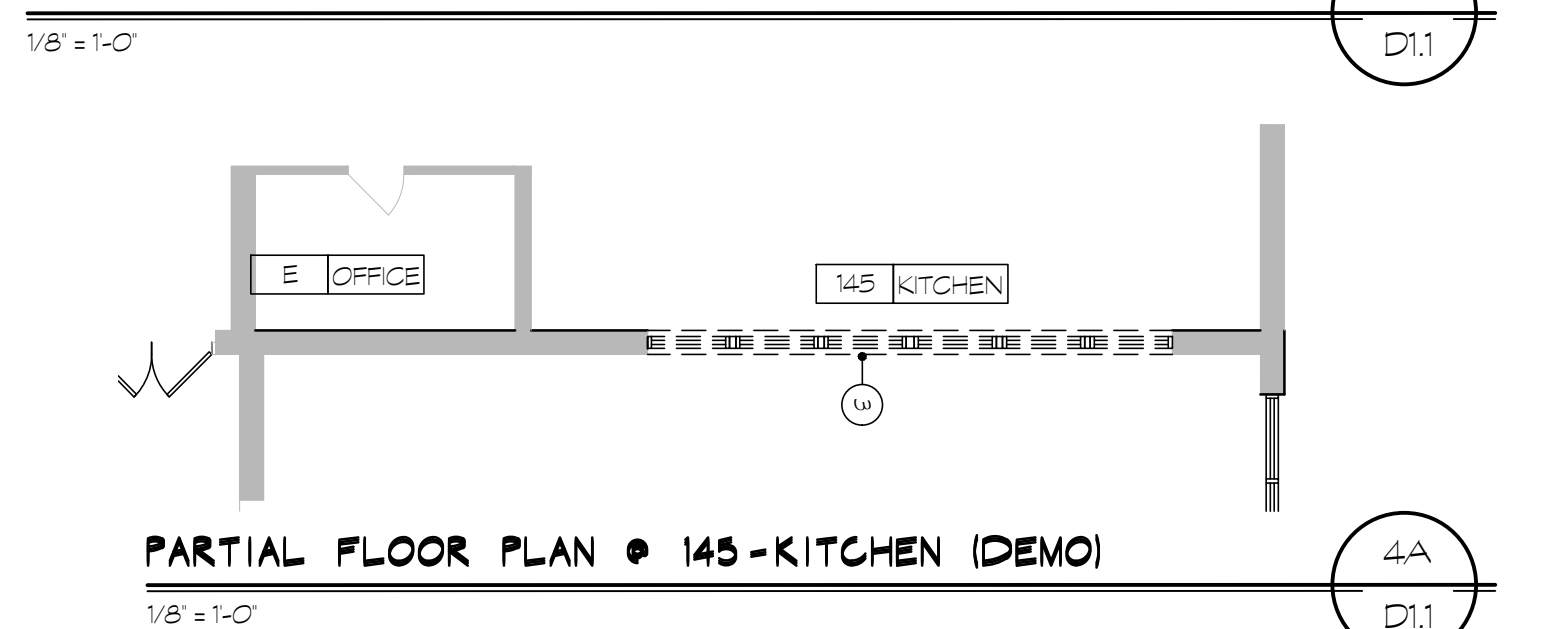
PARTIAL BLDG. ELEVATION • 140-MUSIC (DEMO)



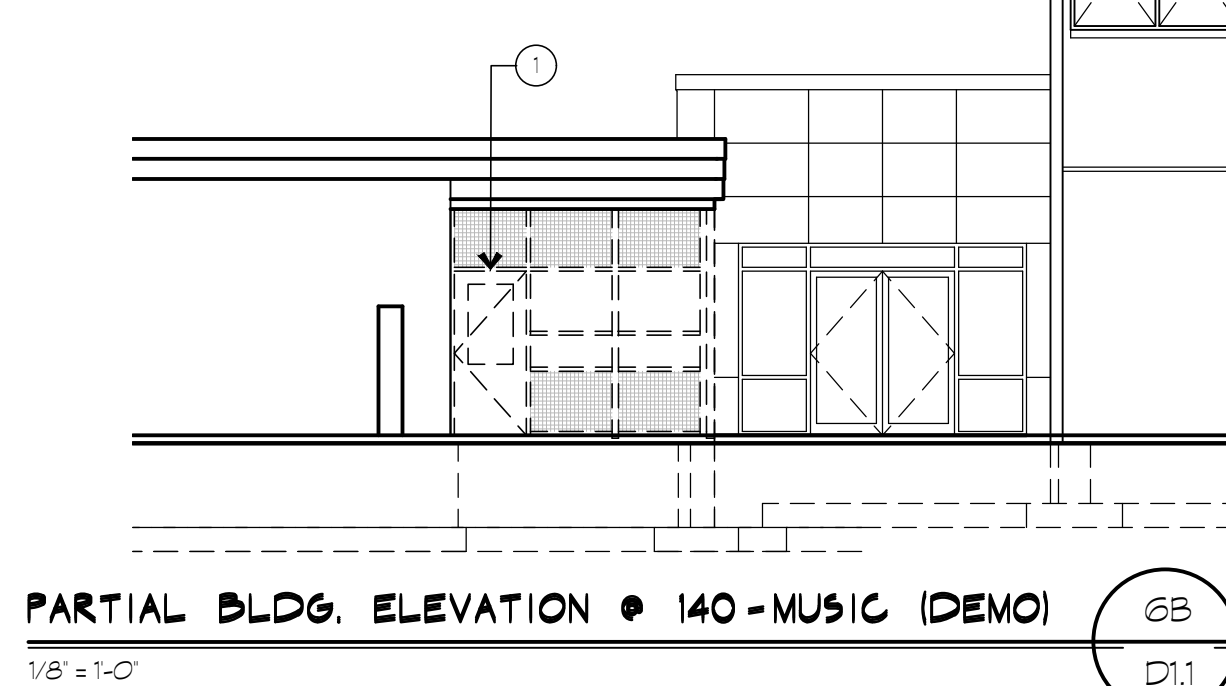
PARTIAL FLOOR PLAN • 140-MUSIC (DEMO)



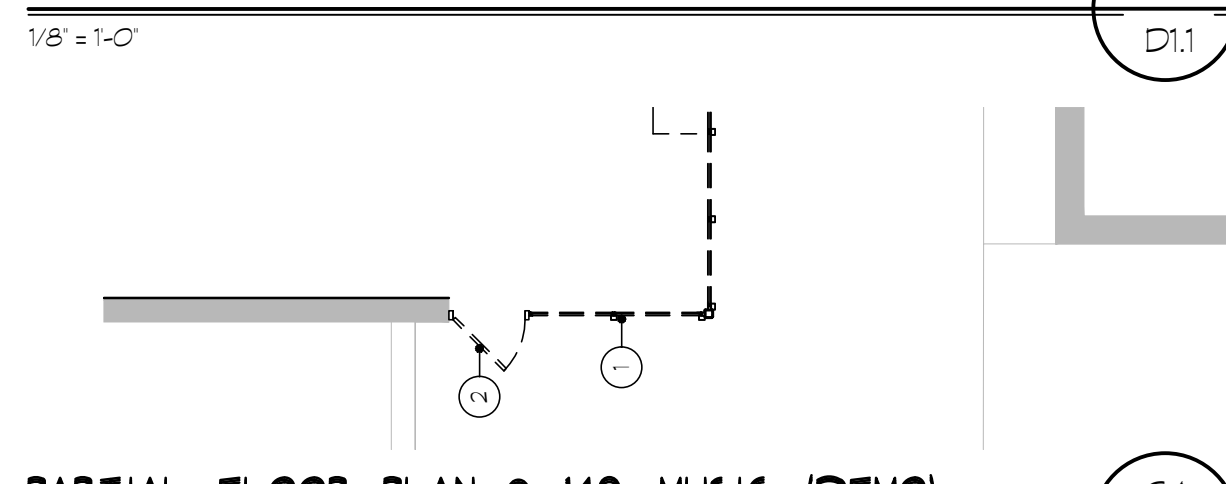
PARTIAL BLDG. ELEVATION • 145-KITCHEN (DEMO)



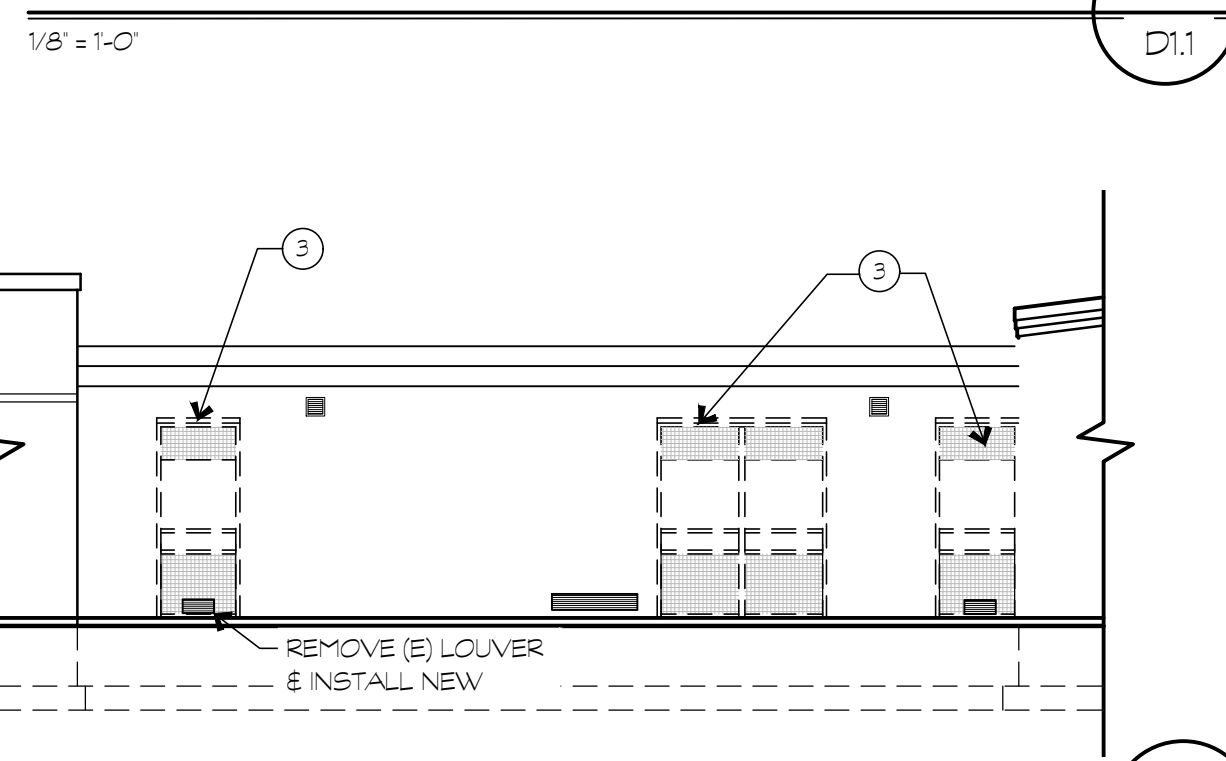
PARTIAL FLOOR PLAN • 145-KITCHEN (DEMO)



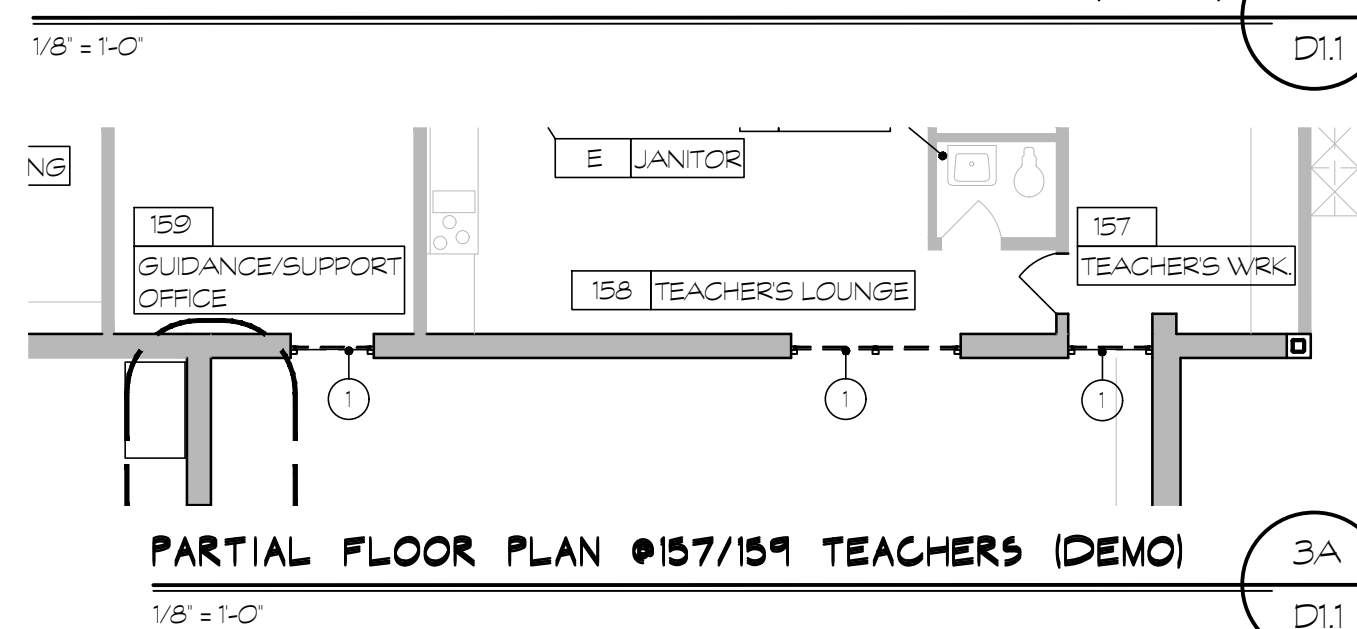
PARTIAL BLDG. ELEVATION • 140-MUSIC (DEMO)



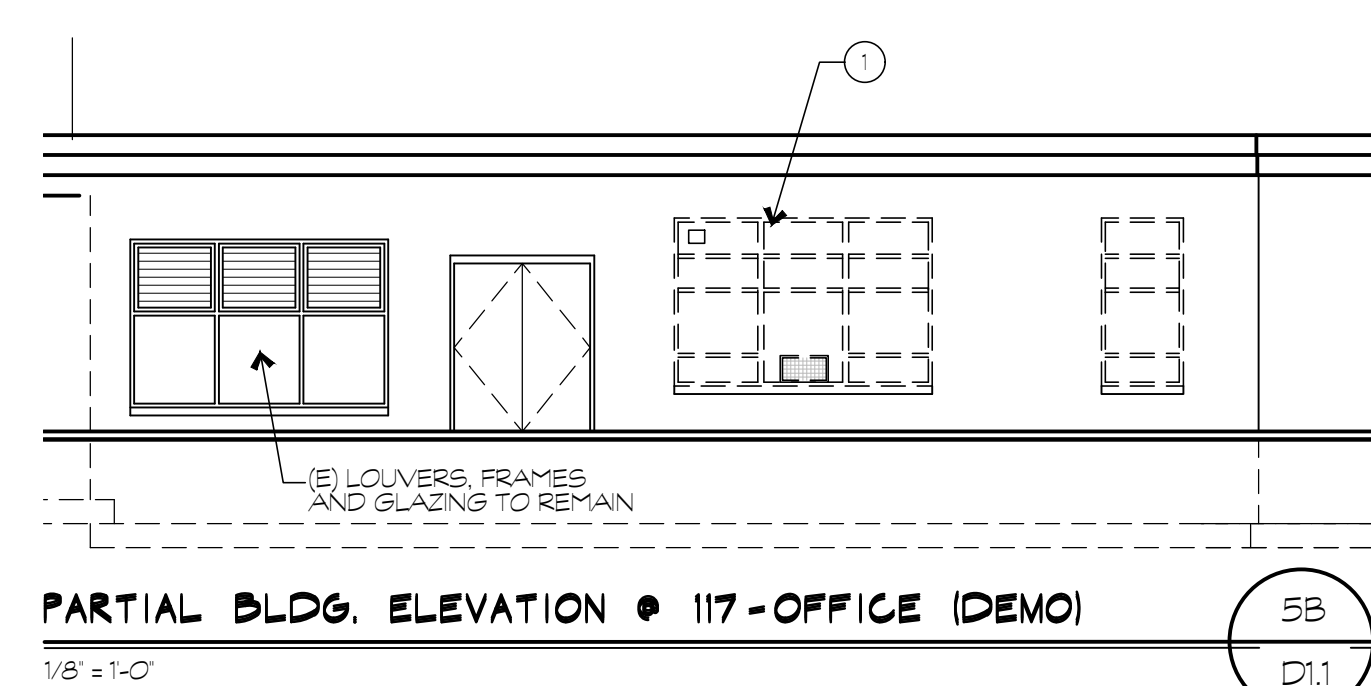
PARTIAL FLOOR PLAN • 140-MUSIC (DEMO)



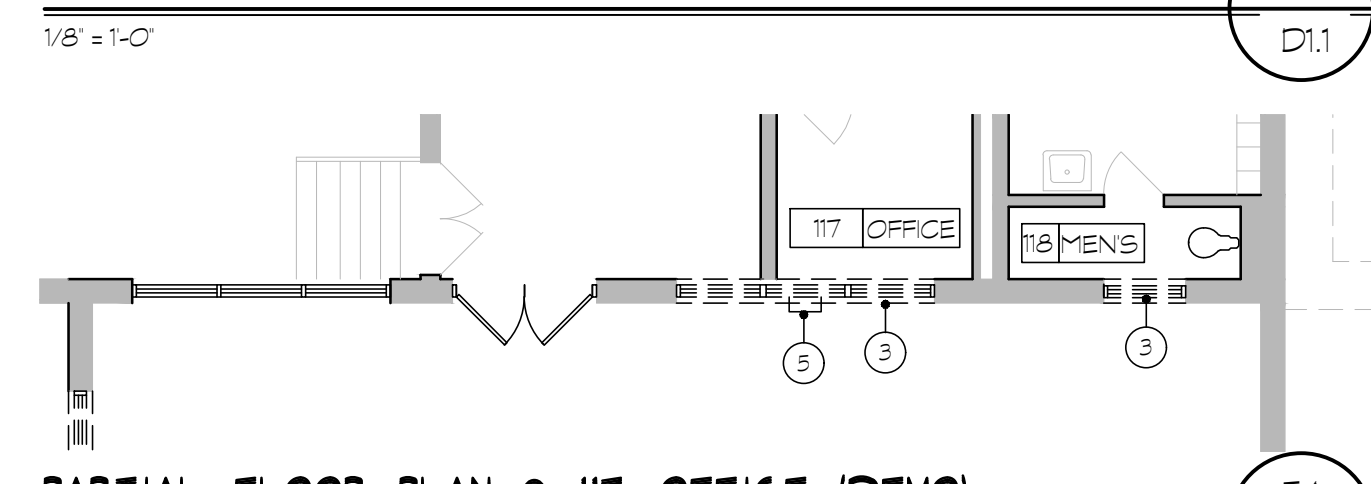
PARTIAL BLDG. ELEVATION • 157/159-TEACHERS (DEMO)



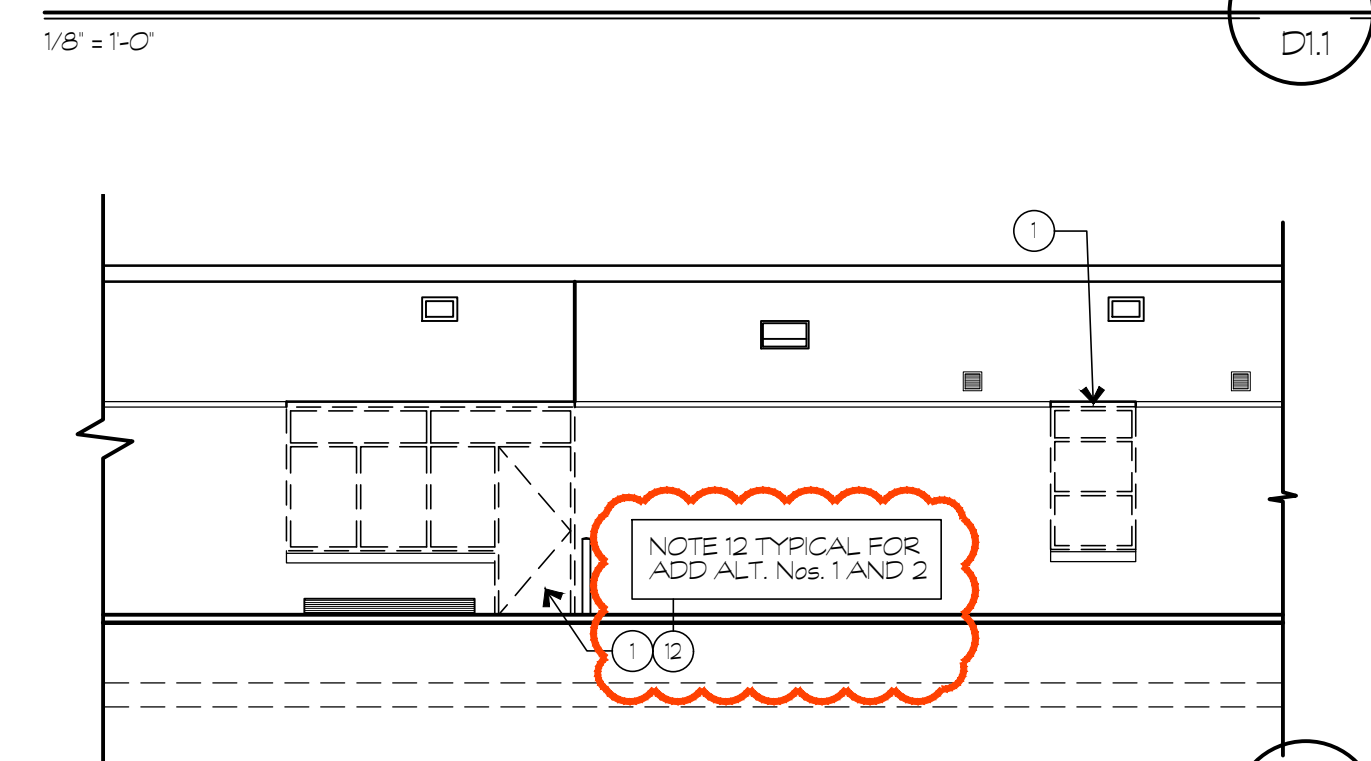
PARTIAL FLOOR PLAN • 157/159-TEACHERS (DEMO)



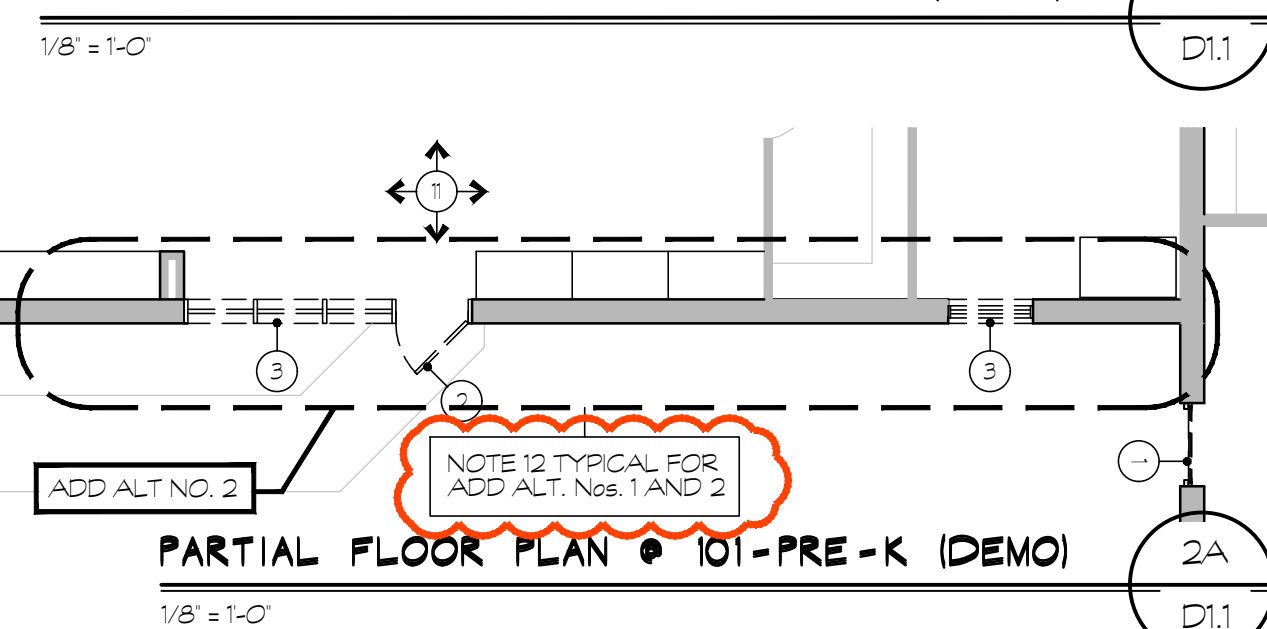
PARTIAL BLDG. ELEVATION • 117-OFFICE (DEMO)



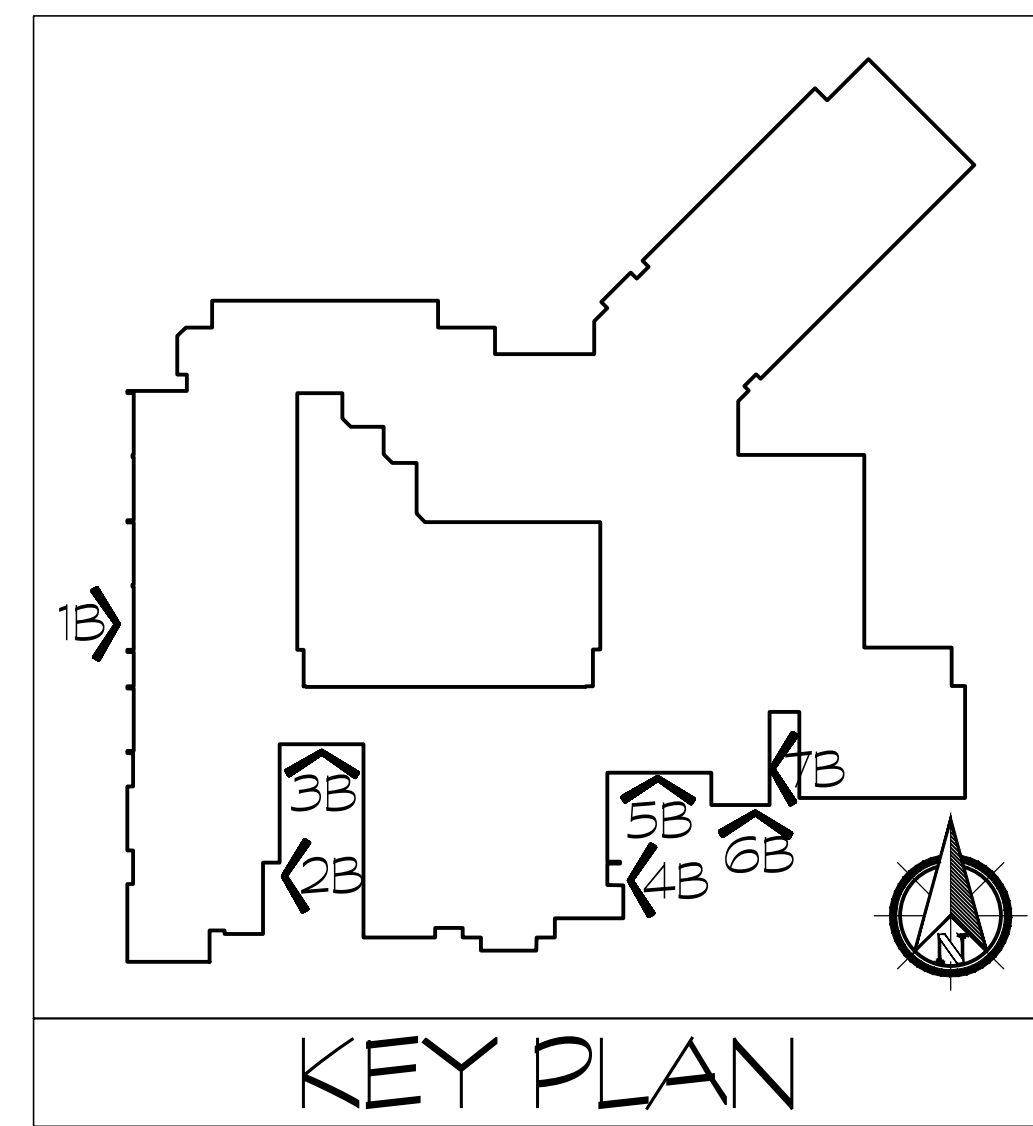
PARTIAL FLOOR PLAN • 117-OFFICE (DEMO)



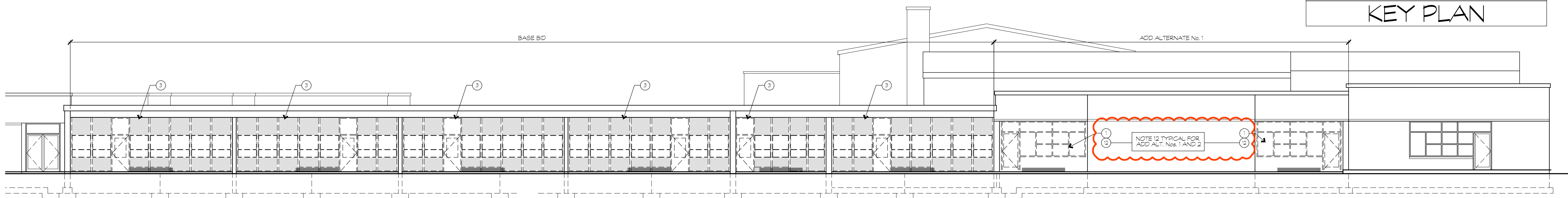
PARTIAL BLDG. ELEVATION • 101-PRE-K (DEMO)



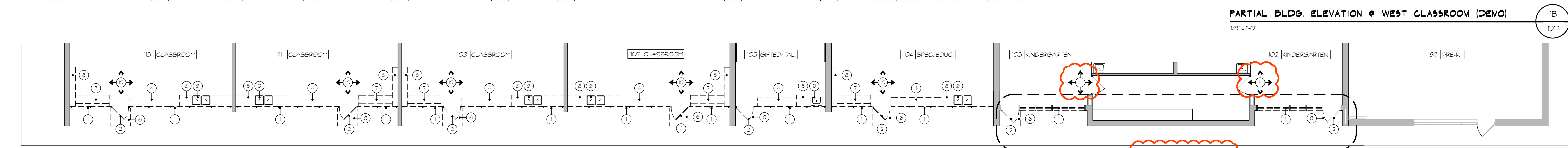
PARTIAL FLOOR PLAN • 101-PRE-K (DEMO)



KEY PLAN



PARTIAL BLDG. ELEVATION • WEST CLASSROOM (DEMO)



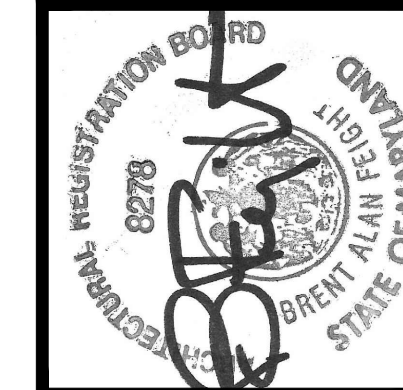
PARTIAL FLOOR PLAN • WEST CLASSROOMS (DEMO)



REVISIONS

02/07/20
REVISIONS PER
ADDENDUM No. 1

NOTES:
DRAWINGS NEW 15 TO
INDICATE GENERAL
REVISIONS AND
INTENT OF WORK. ANY
DIAGRAMMATIC IT SHALL
BE THE RESPONSIBILITY
OF THE CONTRACTOR
TO VERIFY ASPECTS
OR BEFORE AS ELECTION
SHOWN DRAWINGS
RESPONSIBLE FOR
VERIFICATION OF DIMENSIONS
09/02/20



BFM BUSHEY FEIGHT MORIN ARCHITECTS
473 NORTH POTOMAC STREET, HAGERSTOWN, MD 21740
BFMAARCHITECTS.COM 301.751.1600 FAX 301.751.5612
© 2020 • BUSHEY FEIGHT MORIN ARCHITECTS, INC.
FCPS: CARROLL MANOR ELEMENTARY SCHOOL
PHASE II WINDOW AND DOOR REPLACEMENT
BFM #19039
PSC#10.066.20

PARTIAL PLANS
& ELEV. (DEMO)
D1.1
OF SHEETS
DATE: 01/22/20